

**ST. CHARLES PARISH
PLANNING BOARD OF COMMISSIONERS
MAY 2, 2019
7:00 P.M.**

**CALL TO ORDER
PLEDGE OF ALLEGIANCE**

- 1 2019-6-MIN**
Requested by: Yen Hamilton to resubdivide Lot E-1, Cajun Paradise into two lots, with a waiver from the Subdivision Regulations at 14670 Cajun Paradise Rd., Paradis. Zoning District O-L. Council District 4.
Requires Planning Commission approval and supporting resolution of the Council
- 9 2019-9-MIN**
Requested by: Lloyd Frickey to resubdivide one Lot 77-A1-5E, Sunset Drainage District into three lots at 178, 182, 186 J.B. Green Road, Des Allemands. Zoning District R-1A(M). Council District 4.
Requires Planning Commission
- 15 2019-5-MAJ**
Requested by: Pecan Bayou Real Estate, LLC for a Preliminary Plat of Pecan Bayou, 10 lots with a waiver from the Subdivision Regulations, Hahnville, near Butternut and Oak Streets. Zoning District R-1A. Council District 1.
Requires Planning Commission approval and supporting resolution of the Council
- 26 2019-5-R**
Requested by: Renton Properties, LLC to change the zoning classification from O-L and C-3 to M-1 on approximately 42.29 acres, portions of Lots 1, 2, 3, and 4, John Lambert Tract, between the Illinois Central and Kansas City Southern Railroads in St. Rose. Council District 5.
Requires Planning Commission recommendation and Council approval.
- 38 2019-4-SPU**
Requested by: Sheldon & Sheri Simoneaux for an accessory dwelling unit (ADU) with a waiver from the Zoning Ordinance at 224 Murray Hill Dr., Destrehan. Zoning District R-1A. Council District 1.
Requires Planning Commission approval and supporting resolution of the Council.
- 59 2019-5-SPU**
Requested by: Jeffrey Vitrano for an accessory dwelling unit (ADU) at 202 Ormond Oaks Dr., Destrehan. Zoning District R-1A. Council District 3.
Requires Planning Commission approval and supporting resolution of the Council.

**OLD BUSINESS –
NEW BUSINESS –
MINUTES – April 4, 2019
ADJOURN**

St. Charles Parish Department of Planning & Zoning

LAND USE REPORT CASE NUMBER: 2019-6-MIN

GENERAL INFORMATION

- ◆ **Name/Address of Applicant** **Application Date: 3/29/19**
Yen Hamilton
P.O. Box 58
Paradis, LA 70080
(504)-975-7198; lhamilton0167@gmail.com
- ◆ **Location of Site**
Lot E-1, Cajun Paradise; 14670 Cajun Paradise Road, Paradis
- ◆ **Requested Action**
Resubdivision of Lot E-1, Cajun Paradise, into two (2) lots, E-1A and E-1B, with a waiver from the geometric standard requiring street frontage.

SITE INFORMATION

- ◆ **Size of Parcel**
Lot E-1 consists of 155,053.34 square feet and is 196.72 feet wide
 - Proposed Lot E-1A: 78,813.39 square feet, 100 feet wide
 - Proposed Lot E-1B: 76,239.95 square feet, 96.72 feet wide
- ◆ **Current Zoning and Land Use**
O-L, Open Land

Lot E-1 is developed with three structures: shipping containers/sea cans were permitted for use as a residence, but currently used for residential storage (permit 24969); a site-built, single-family house was permitted several years later and is the primary structure/residence on the property today (permit 25592). These structures would remain on proposed Lot E-1A. A storage building shown on proposed Lot E-1B is proposed 'to be removed'.
- ◆ **Surrounding Zoning and Land Use**
O-L zoning is adjacent to the front and each side; W zoning is adjacent to the rear.

Single-family residences are adjacent to each side; railroad tracks are adjacent to the front; the land adjacent to the rear is vacant and wooded.
- ◆ **Plan 2030 Recommendation**
Wetlands: Although a natural wetland is not considered a human use of land, substantial portions of the Parish are designated as wetlands. Most are likely to remain as such due to existing regulatory limitations on their development. The wetlands land use designation, which applies to these area, acknowledges these limitations, but most importantly, highlight the value of wetlands to St. Charles Parish.
- ◆ **Traffic Access**
The lots are accessibly by Cajun Paradise Road, a private drive surfaced with aggregate material within a 40 foot access servitude.
- ◆ **Utilities**
Water is the only Parish utility available. The nearest water meter is located in front of proposed Lot E-1A. The service line must be extended down Cajun Paradise Road, into the property. A private sewer treatment serves the existing house. At the time of writing this report, the applicants have requested documentation from the

Department of Health and Hospitals/Office of the Sanitarian that private sewer can be permitted on the proposed lot.

APPLICABLE REGULATIONS

Appendix C. Section II. Subdivision Procedure

C. Minor Resubdivisions.

1. In instances where a net increase of five (5) or fewer lots is proposed by subdivision or resubdivision and no new or additional public improvements are required, no formal preliminary plat shall be required. The plan of resubdivision shall comply with requirements outlined in section II.C.3 of this section, and with all relevant land use regulations, including the St. Charles Parish Zoning Ordinance and Subdivision Regulations. The Planning and Zoning Commission may approve or deny the application. The basis for denial shall be stated at the meeting and on the record of the Planning and Zoning Commission.
3. Subdivisions and resubdivisions which meet the guidelines contained in Section II.C. of these regulations shall be presented to the Department of Planning and Zoning in the form of a plan which conforms to the laws of the State of Louisiana governing surveying, platting, and subdivision of land. The proposed subdivision shall contain the following information:
 - a. Location of the property.
 - b. Name(s) and address(es) of the owners.
 - c. Name and address of the Land Surveyor preparing the plan as well as the date the survey was prepared. The survey shall be dated within one (1) year of the subdivision application date.
 - d. Existing property lines and lot numbers, including names and width of adjoining streets.
 - e. Proposed property lines and revised numbers of proposed lots.
 - f. Location and dimensions of existing buildings.
 - g. Layout and dimensions of all existing, proposed, and required servitudes and rights-of-way, including but not limited to servitudes for sidewalks, utilities, access, drainage ditches, and canals.
 - h. Existing lakes and ponds.
 - i. North arrow and scale.
 - j. The following note shall be added to all resubdivision maps: All necessary sewer, water and/or other utility extensions, relocations or modifications shall be made solely at the lot owner's expense.
 - k. Stormwater Pollution Prevention Plan. For Minor Subdivisions that involve more than one (1) acre, the MS4 Administrator may require the submittal of a Stormwater Pollution Prevention Plan and/or Post Construction Stormwater Permit, including all required documentation, in accordance with Chapter 25—Stormwater Management and Erosion and Sedimentation Control.

III. - Geometric standards.

B. Blocks:

3. Arrangement. All lots shall possess frontage on a street or roadway that meets the specifications of these regulations. When the subdivision of a parcel of land does not permit a normal street arrangement due to size or location of the land, there may be established a street with a cul-de-sac or turning circle which provides proper access to all lots. A cul-de-sac or turning circle, as described in Section III.A.2.e., shall be required at the end of dead end streets when the length of the dead end street exceeds the width of two (2) lots.

C. Lots:

1. Size. The width, depth, area, and minimum building setback line shall conform to the St. Charles Parish Zoning Ordinance for the type of development.
 - a. Corner Lot. Corner lots shall have extra width to permit setback lines on the side of the lots adjacent to a side street. The extra width shall be sufficient to allow the lot to meet the minimum zoning requirements of the St. Charles Parish Zoning Ordinance excluding the side street setback distance.
 - b. Width. The lot width at the minimum building setback line shall not be less than that specified by the St. Charles Parish Zoning Ordinance.
2. Lot Lines. All lot side lines shall be at right angles to straight street lines or radial to curved street lines unless a variation is approved in writing by the Commission.
3. Large Lots. When a parcel of land is subdivided into large lots, the Commission may require the shape and dimensions of the lots arranged so that resubdivision of any lots will meet the requirements of these Regulations and the St. Charles Parish Zoning Ordinance.

VI. [I.] O-L. Open Land District

2. Spatial Requirements:

- a. Minimum lot size shall be twenty thousand (20,000) square feet; minimum width fifty (50) feet.
- b. Minimum yard sizes:
 - (1) Front—thirty-five (35) feet.
 - (2) Side—ten (10) feet.
 - (3) Rear—twenty (20) feet.
 - (4) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, notwithstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
- c. Accessory buildings: Minimum rear and side setbacks shall be ten (10) feet.

- d. Permitted encroachments:
 - (1) Overhangs projecting not more than twenty-four (24) inches excluding gutter.
 - (2) Stairs and landings not more than three (3) feet in height, projecting no more than four (4) feet into the required front or rear yard.

ANALYSIS

The applicant requests resubdivision of Lot E-1 into two (2) lots, E-1A and E-1B. Each proposed lot meets the required 20,000 square foot area for the O-L district and is over 50 feet wide. Lots in Cajun Paradise do not meet the geometric standard that requires them to be arranged to front on a public street. The applicant requests a waiver from that requirement in order to divide Lot E-1 more or less in half: Proposed Lot E-1A is 1.8 acres and proposed Lot E-1B is 1.75 acres.

Cajun Paradise was platted as a partition of property into 9 tracts between the Paradis Canal and the Southern Pacific Railroad in 1982. The tracts were over five acres each. The only access was a driveway over the railroad tracks from Old Spanish Trail to Lot B (Partition of Property of Cajun Paradise, Lucien Gassen, PLS, March 2, 1982). By 1992, Cajun Paradise Road, a private drive within a 40' private servitude, provided access to nine residences with limited access to parish water and no access to parish sewer. The large tracts have been divided into 13 tracts accessible by Cajun Paradise Road and another three tracts that are landlocked.

Lot E-1 was created in a 2008 resubdivision that divided Tract E into two lots; Council resolution 5514 approved a waiver from the frontage requirement. (PZS-2008-02).

Considering the development pattern in the area, the Department does not object to the waiver from frontage.

At the time of writing this report, staff have advised the property owner of several typographical errors in the legal description of the property and have requested documentation that The Louisiana Department of health and Hospitals/Office of the sanitarian will allow individual sewer treatment for a new residence.

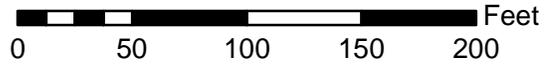
DEPARTMENT RECOMMENDATION

Approval with a waiver from the requirement for lots to be arranged with public street frontage.

2019-6-MIN

Requested by: Yen Hamilton

Minor Subdivision: 1 lot to 2



N



2019-6-MIN

Requested by: Yen Hamilton

Minor Subdivision: 1 lot to 2

0 50 100 150 200 Feet

N



Zoning

 OL

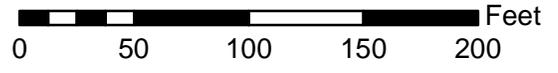
 R1AM

 W

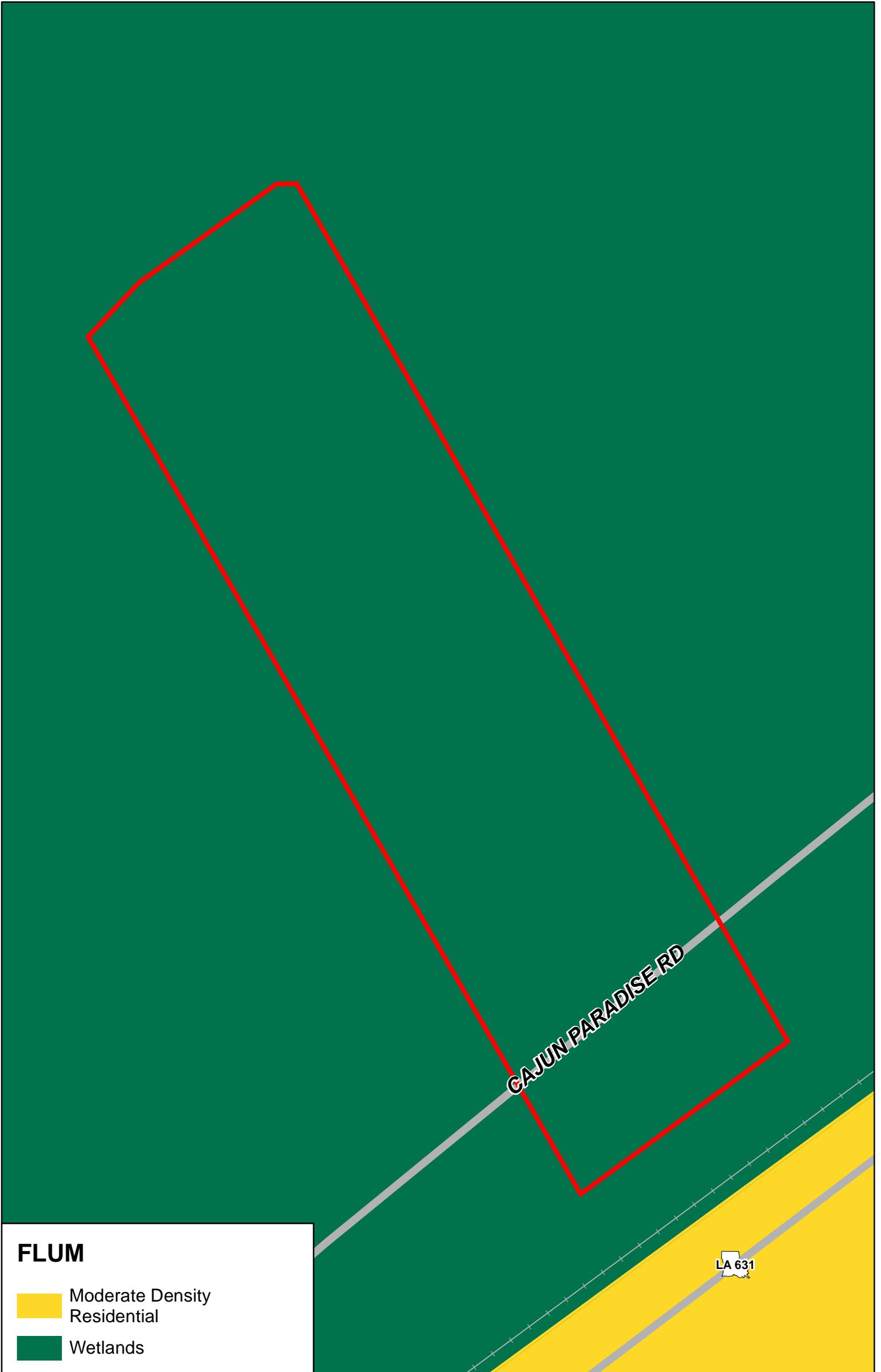
2019-6-MIN

Requested by: Yen Hamilton

Minor Subdivision: 1 lot to 2



N



FLUM

-  Moderate Density Residential
-  Wetlands

**INTRODUCED BY: LARRY COCHRAN, PARISH PRESIDENT
(DEPT. OF PLANNING & ZONING)**

RESOLUTION NO. _____

A resolution endorsing a waiver from the Subdivision Regulations of 1981, Section III. Geometric Standards B. Blocks 3. Arrangement, requiring lots to possess frontage on a street as requested by Yen Hamilton.

WHEREAS, the St. Charles Parish Subdivision Ordinance of 1981 requires that the St. Charles Parish Council endorse waivers from subdivisions; and,

WHEREAS, the subdivider has requested a waiver from the requirement for lots to possess frontage on a street or roadway; and,

WHEREAS, the Planning and Zoning Commission [approved/denied] the requested waiver at their May 2, 2019 meeting.

NOW, THEREFORE, BE IT RESOLVED THAT THE ST. CHARLES PARISH COUNCIL, hereby provides this supporting authorization to endorse the waiver from the Subdivision Regulations to allow resubdivision of one lot into two where lots do not possess frontage on a street or roadway meeting Parish specifications, as shown on a plan by Louis Gassen Jr. dated 2/15/19 as requested by Yen Hamilton.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

And the resolution was declared adopted this __day of _____, 2019, to become effective five (5) days after publication in the Official Journal.

CHAIRMAN: _____

SECRETARY: _____

DLVD/PARISH PRESIDENT: _____

APPROVED: _____ DISAPPROVED: _____

PARISH PRESIDENT: _____

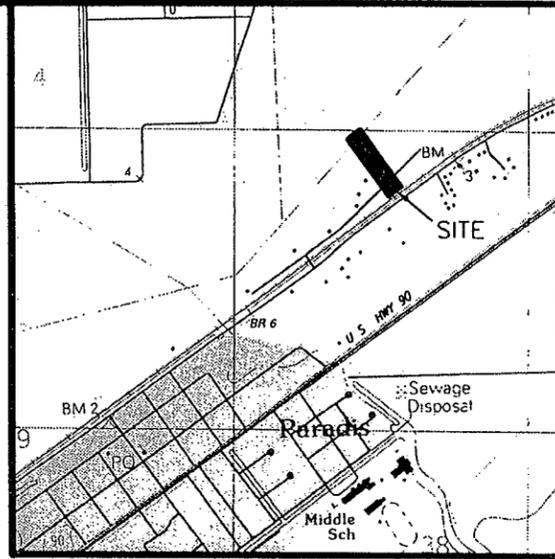
RETD/SECRETARY: _____

AT: _____ RECD BY: _____

APPROVALS:

St. Charles Parish Planning and Zoning Commission Chairman Date

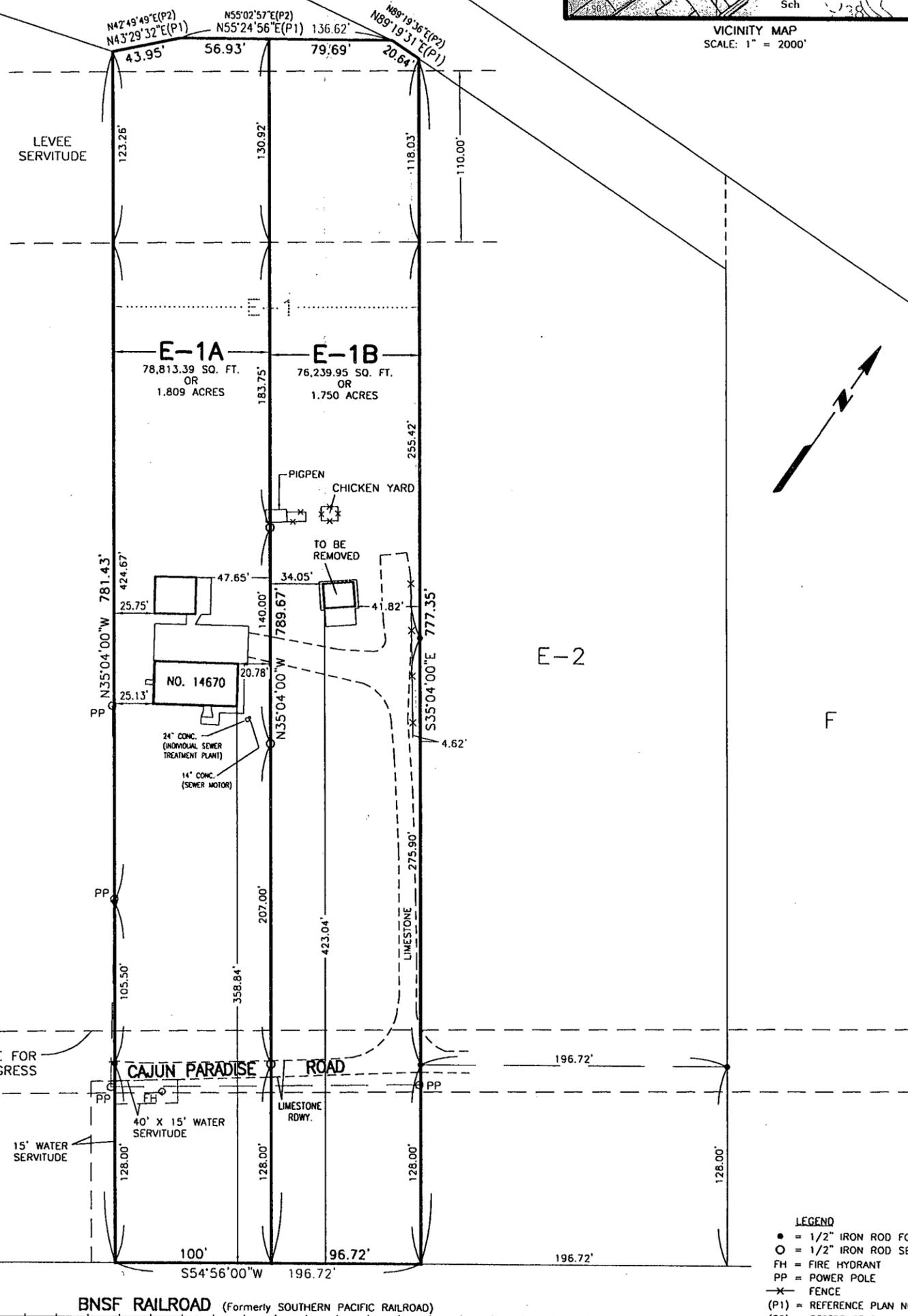
St. Charles Parish President Date



VICINITY MAP SCALE: 1" = 2000'

Recorded in The Clerk of Court's office St. Charles Parish on the ___ day of ___, in Book ___ Folio ___, Entry # ___ Signature Title

NOTE: ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSIONS, RELOCATIONS OR MODIFICATIONS SHALL BE MADE BY AND SOLELY AT THE LOT OWNER'S EXPENSE.



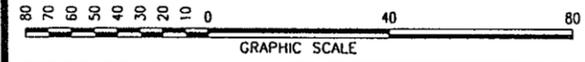
LEGEND: 1/2" IRON ROD FOUND, 1/2" IRON ROD SET, FH = FIRE HYDRANT, PP = POWER POLE, FENCE, (P1) = REFERENCE PLAN NO. 1, (P2) = REFERENCE PLAN NO. 2, BEARINGS ARE BASED ON REFERENCE PLAN NO. 1

REFERENCE PLAN: 1. PARTITION OF PROPERTY OF CAJUN PARADISE BY LUCIEN C. GASSEN, DATED MAR. 8, 1982, REVISED JULY 27, 1983 2. SURVEY & RESUBDIVISION OF LOT E OF CAJUN PARADISE INTO LOTS E-1 & E-2 BY R. P. BERNARD, DATED NOVEMBER 29, 2007

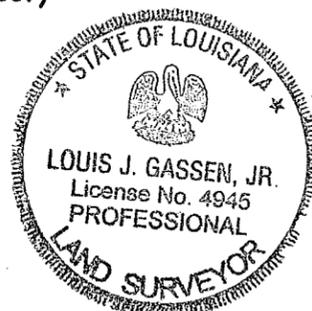
RESUBDIVISION OF LOT E-1 (AS SHOWN ON A RESUBDIVISION BY R. P. BERNARD, DATED NOVEMBER 29, 2007) INTO LOTS E-1A & E-1B IN SECTION 3, T14S - R20E ST. CHARLES PARISH, LOUISIANA SCALE: 1" = 80' FEBRUARY 15, 2019

The servitudes shown on this survey are limited to those set forth per reference plans and there is no representation that all applicable servitudes are shown hereon. No title search or public record search was made in compiling data for this survey.

This is to certify that I have consulted the Flood Insurance Rate Maps and found that this property is in Zone AE.



I certify that this plat represents an actual ground survey performed under my supervision and is in accordance with the Louisiana standards of practice for a Class C survey.



LOUIS J GASSEN JR, PLS Registration No. 4945 (985) 785-0745 1026 Gassen Street Luling, Louisiana 70070

LUCIEN C. GASSEN SURVEYING SERVICES

St. Charles Parish Department of Planning & Zoning

LAND USE REPORT CASE NUMBER: 2019-9-MIN

GENERAL INFORMATION

- ◆ **Name/Address of Applicant** **Application Date: 4/3/19**
Lloyd Frickey
152 Bayou Estates Drive
Des Allemands, LA 70030
(985)-750-2936; lfrickey2@cox.net
- ◆ **Location of Site**
Lot 77-A1-5E, Sunset Drainage District; 178, 182, 186 J.B. Green Road, Des Allemands
- ◆ **Requested Action**
Resubdivision of Lot 77-A1-5E, Sunset Drainage District, into three (3) lots, 77-A1-5E-1, 77-A1-5E-2, 77-A1-5E-3.

SITE INFORMATION

- ◆ **Size of Parcel**
Lot 77-A1-5E consists of 39,630 square feet and has 151.95 feet of frontage
 - Proposed Lot 77-A1-5E-1: 12,545 square feet, 50.65 feet wide
 - Proposed Lot 77-A1-5E-2: 13,210 square feet, 50.65 feet wide
 - Proposed Lot 77-A1-5E-3: 13,875 square feet, 50.65 feet wide
- ◆ **Current Zoning and Land Use**
The site is zoned R-1A(M), Single-Family Residential, Manufactured and Mobile Homes. It is vacant and wooded.
- ◆ **Surrounding Zoning and Land Use**
R-1A(M) zoning abuts on the left or west side and south along J.B. Green Road; M-1 zoning is adjacent to the north or rear and also to the right or east side.

The surrounding residential zoning is primarily developed with mobile homes on their own lots. The areas to the north and towards Hwy. 90 zoned M-1 are wooded and undeveloped.
- ◆ **Plan 2030 Recommendation**
Light Industrial: This designation includes such uses as warehouse and distribution activities, as well as office uses, repair facilities, light assembly and light manufacturing activities that do not involve emissions of odors, dust, fumes or excessive noise, consistent with the uses in the M-1 Light Manufacturing and Industrial zoning district.
- ◆ **Traffic Access**
The existing lot has frontage along J.B. Green Road and each proposed lot has the required width. The plat shows one driveway culvert providing access to proposed lot 77-A1-5E-3. Any additional access points must be provided by and at the cost of the developer.
- ◆ **Utilities**
Water and sewer are available for all proposed lots—any extensions or new meters must be installed by developers. A five (5) foot utility servitude runs across the front of each new lot to allow sewer access without the need for cutting across J.B. Green Road.

APPLICABLE REGULATIONS

Appendix C. Section II. Subdivision Procedure

C. Minor Resubdivisions.

1. In instances where a net increase of five (5) or fewer lots is proposed by subdivision or resubdivision and no new or additional public improvements are required, no formal preliminary plat shall be required. The plan of resubdivision shall comply with requirements outlined in section II.C.3 of this section, and with all relevant land use regulations, including the St. Charles Parish Zoning Ordinance and Subdivision Regulations. The Planning and Zoning Commission may approve or deny the application. The basis for denial shall be stated at the meeting and on the record of the Planning and Zoning Commission.

3. Subdivisions and resubdivisions which meet the guidelines contained in Section II.C. of these regulations shall be presented to the Department of Planning and Zoning in the form of a plan which conforms to the laws of the State of Louisiana governing surveying, platting, and subdivision of land. The proposed subdivision shall contain the following information:

- a. Location of the property.
- b. Name(s) and address(es) of the owners.
- c. Name and address of the Land Surveyor preparing the plan as well as the date the survey was prepared. The survey shall be dated within one (1) year of the subdivision application date.
- d. Existing property lines and lot numbers, including names and width of adjoining streets.
- e. Proposed property lines and revised numbers of proposed lots.
- f. Location and dimensions of existing buildings.
- g. Layout and dimensions of all existing, proposed, and required servitudes and rights-of-way, including but not limited to servitudes for sidewalks, utilities, access, drainage ditches, and canals.
- h. Existing lakes and ponds.
- i. North arrow and scale.
- j. The following note shall be added to all resubdivision maps: All necessary sewer, water and/or other utility extensions, relocations or modifications shall be made solely at the lot owner's expense.
- k. Stormwater Pollution Prevention Plan. For Minor Subdivisions that involve more than one (1) acre, the MS4 Administrator may require the submittal of a Stormwater Pollution Prevention Plan and/or Post Construction Stormwater Permit, including all required documentation, in accordance with Chapter 25—Stormwater Management and Erosion and Sedimentation Control.

III. - Geometric standards.

C. Lots:

- 1. Size. The width, depth, area, and minimum building setback line shall conform to the St. Charles Parish Zoning Ordinance for the type of development.
 - a. Corner Lot. Corner lots shall have extra width to permit setback lines on the side of the lots adjacent to a side street. The extra width shall be sufficient to allow the lot to meet the minimum zoning requirements of the St. Charles Parish Zoning Ordinance excluding the side street setback distance.
 - b. Width. The lot width at the minimum building setback line shall not be less than that specified by the St. Charles Parish Zoning Ordinance.
- 2. Lot Lines. All lot side lines shall be at right angles to straight street lines or radial to curved street lines unless a variation is approved in writing by the Commission.
- 3. Large Lots. When a parcel of land is subdivided into large lots, the Commission may require the shape and dimensions of the lots arranged so that resubdivision of any lots will meet the requirements of these Regulations and the St. Charles Parish Zoning Ordinance.

VI. [II.] R-1A(M). Single Family Residential Detached Conventional Homes, Manufactured Homes, and Mobile Homes—Medium density

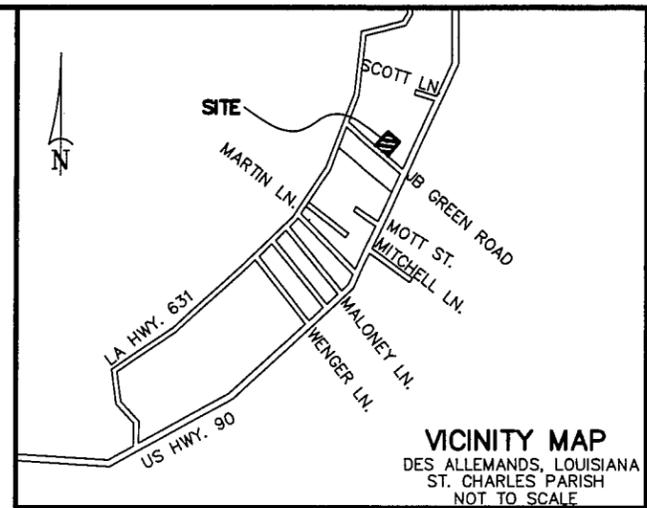
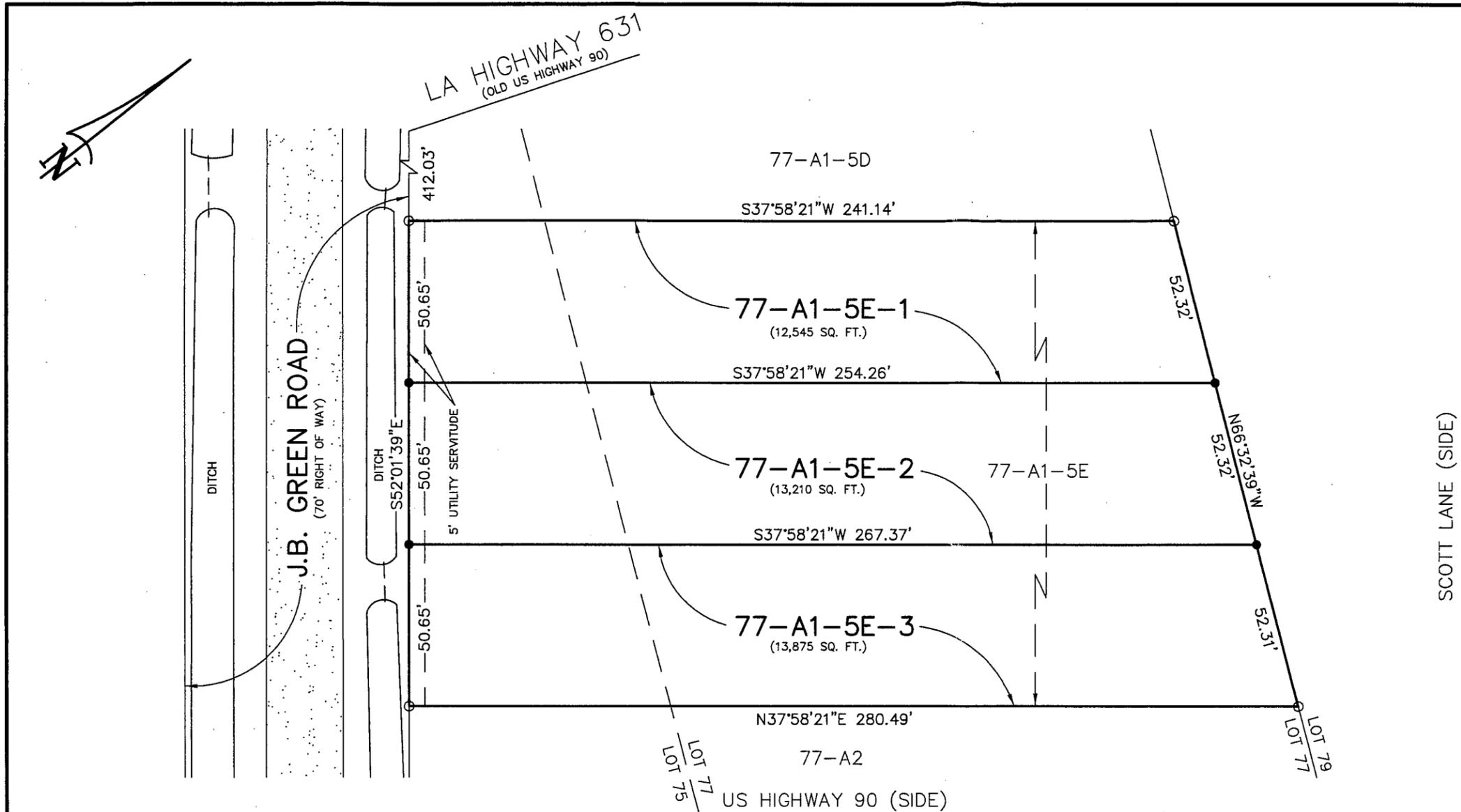
- 2. Spatial Requirements.
 - a. Minimum lot size: five thousand (5,000) square feet per family; minimum width-fifty (50) feet.
 - b. Minimum yard sizes:
 - (1) Front—fifteen (15) feet.
 - (2) Side—five (5) feet.
 - (3) Rear—five (5) feet.
 - (4) For lots with less than one hundred (100) feet depth, front setback shall be fifteen (15) percent of lot depth with a minimum of ten (10) feet to the front lot line and five (5) feet to the rear lot line. (Ord. No. 99-8-6, 8-2-99)

ANALYSIS

The applicant requests resubdivision of Lot 77-A1-5E into three (3) lots. Each proposed lot meets the required width and area for the R-1A(M) district and the geometric standards for lots.

DEPARTMENT RECOMMENDATION

Approval



DEVELOPER: LLOYD JOSEPH FRICKEY
 152 BAYOU ESTATES DRIVE
 DES ALLEMANDS, LOUISIANA 70030

APPROVED:

PARISH PRESIDENT _____ DATE _____

CHAIRMAN PLANNING AND ZONING COMMISSION _____ DATE _____

CERTIFICATION: THIS IS TO CERTIFY THAT THIS PLAT IS MADE IN ACCORDANCE WITH LA. REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

RECORDED IN THE CLERK OF COURT'S OFFICE
 ST. CHARLES PARISH ON THE _____
 DAY OF _____, IN BOOK _____
 FOLIO _____, ENTRY # _____

ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSIONS, RELOCATION'S OR MODIFICATIONS SHALL BE MADE BY AND SOLELY AT THE LOT OWNER'S EXPENSE

TITLE: SURVEY PLAT AND RESUBDIVISION OF LOT 77-A1-5E INTO LOTS HEREIN DESIGNATED AS LOT 77-A1-5E-1, LOT 77-A1-5E-2 & LOT 77-A1-5E-3 OF THE SUNSET DRAINAGE DISTRICT BEING A PORTION OF LOTS 75 & 77 OF THE SUNSET DRAINAGE DISTRICT LOCATED IN THE RANSON TRACT OF THE COTEAU DE FRANCE SITUATED IN SECTION 39, T-14-S, R-20-E, DES ALLEMANDS, ST. CHARLES PARISH, LOUISIANA.

DATE: MARCH 29, 2019

SURVEY REFERENCE: SURVEY PLAT AND RESUBDIVISION OF LOT 77-A1-5 INTO LOTS HEREIN DESIGNATED AS LOTS 77-A1-5A, 77-A1-5B, 77-A1-5C, 77-A1-5D & LOT 77-A1-5E BY STEPHEN P. FLYNN, P.L.S. DATED 1/18/2019, REVISED 2/22/2019.

BASIS OF BEARING: BEARINGS HEREON ARE ESTABLISHED BY THE LOUISIANA STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE 1702 USING IECA SMARTNET SOLUTION DATED 7/13/2016 NAD 83.

FLOOD NOTE: THE SURVEYED PARCEL IS IN ZONE "X" PER FEDERAL INSURANCE RATE MAP NUMBER 220160-0175 DATED 6/16/1992.

SURVEYOR'S NOTES:

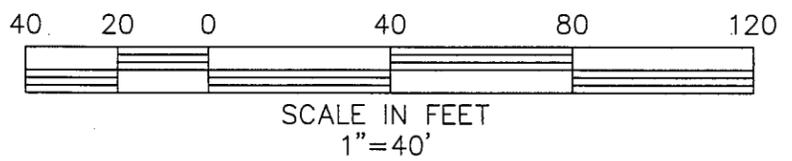
A. THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS B SURVEY.

B. NO TITLE OPINION WAS PROVIDED TO THIS FIRM, THEREFORE NO CERTIFICATION IS GIVEN TO THE EXISTENCE OF OTHER SERVITUDES OR EASEMENTS WHICH MAY EXIST OTHER THAN THOSE SHOWN.

C. MINIMUM SETBACK LINES AND SERVITUDES SHOWN ARE BASED ON THE REFERENCED SURVEY PLAT. THE APPROPRIATE PARISH AUTHORITY OR NEIGHBORHOOD REGULATORY BOARD SHOULD BE CONSULTED FOR FINAL DETERMINATION.

LEGEND

- 1/2" IRON ROD SET
- 1/2" IRON ROD FOUND



Stephen P. Flynn
 STEPHEN P. FLYNN
 P.L.S. LA. ST. REG. NO. 4668

DRAWN BY: KPB DRAWING NO. M6568_W03449

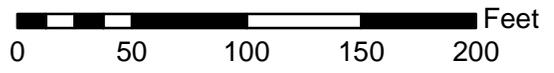
RIVERLANDS SURVEYING COMPANY

505 HEMLOCK STREET
 LAPLACE, LA. 70068
 1-800-248-6982
 985-652-6356

2019-9-MIN

Requested by: Lloyd J. Frickey

Minor Subdivision: 1 lot into 3



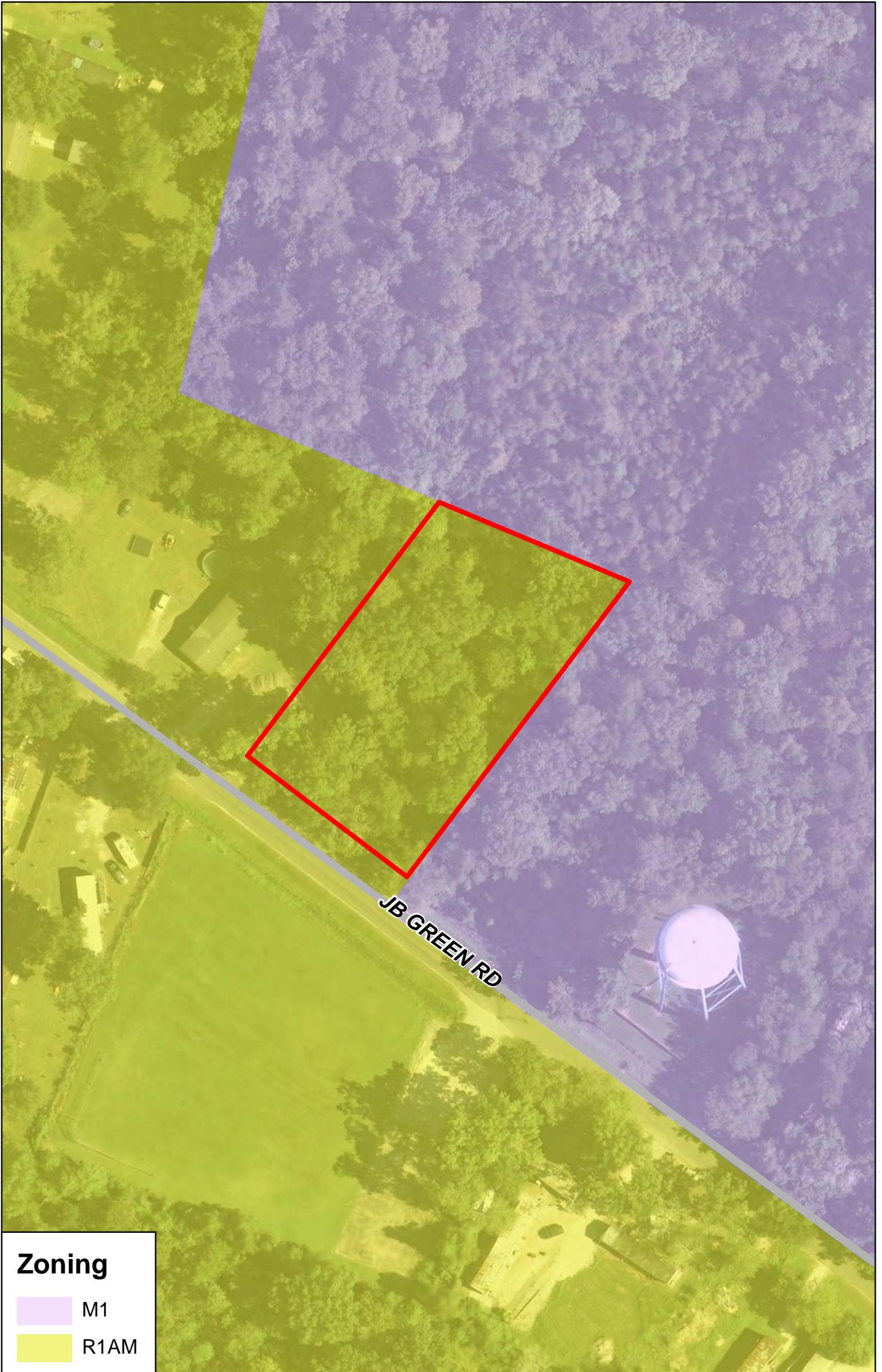
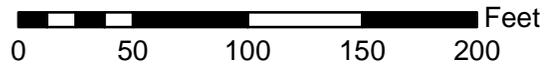
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2019-9-MIN

Requested by: Lloyd J. Frickey

Minor Subdivision: 1 lot into 3



Zoning

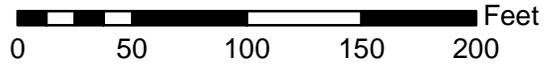
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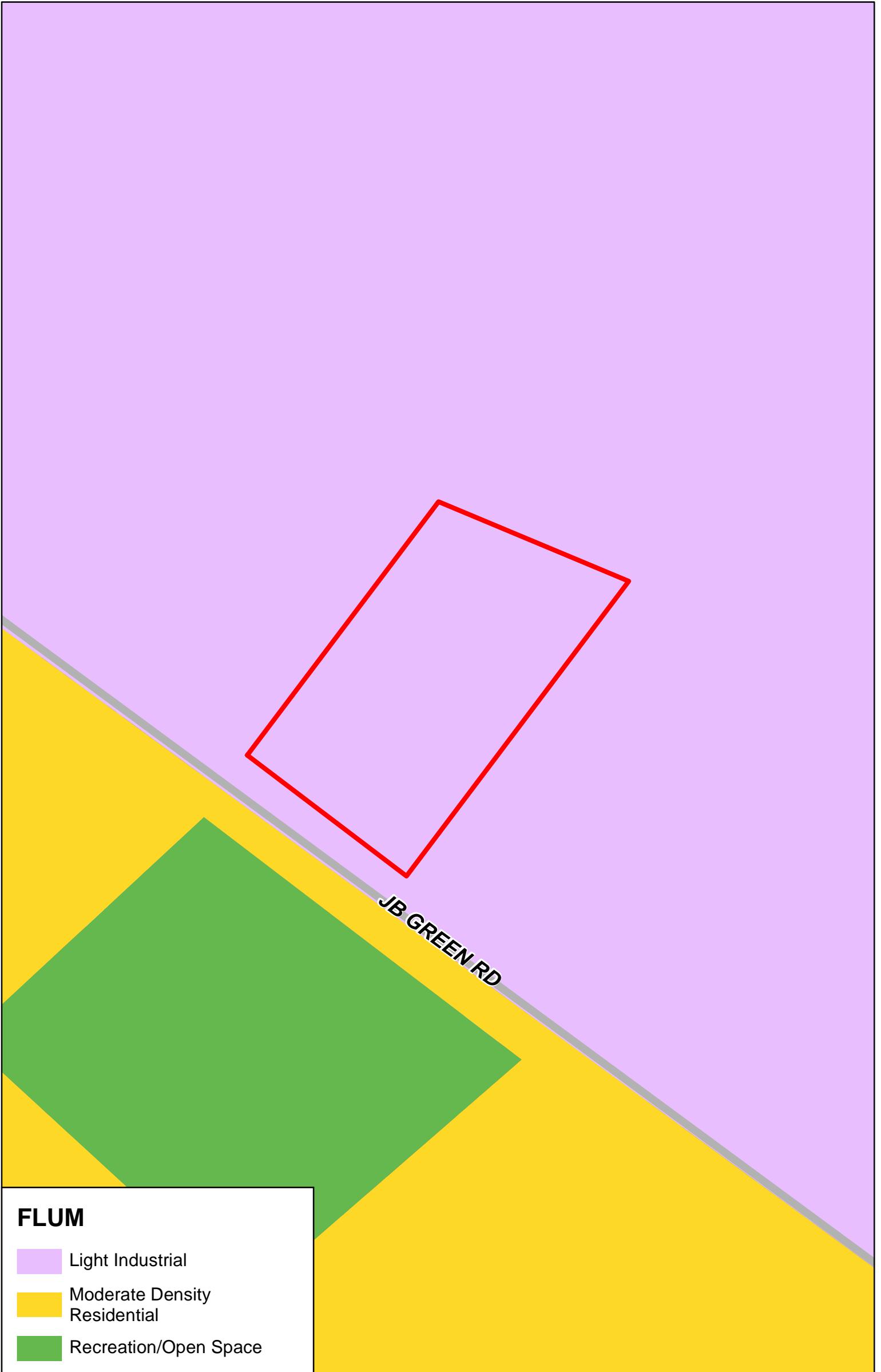
2019-9-MIN

Requested by: Lloyd J. Frickey

Minor Subdivision: 1 lot into 3



N



FLUM

-  Light Industrial
-  Moderate Density Residential
-  Recreation/Open Space

St. Charles Parish Department of Planning & Zoning

LAND USE REPORT CASE NUMBER: 2019-5-MAJ

GENERAL APPLICATION INFORMATION

- ◆ **Name/Address of Applicant** **Application Date** 4/2/19
Pecan Bayou Real Estate, LLC
1904 Ormond Blvd. Suite 101
Destrehan, LA 70047
(504)-905-1687; jason.remaxsynergy@gmail.com
(504)-914-0988; jefferymelancon@gmail.com
- ◆ **Location of Site**
Parcel A and Parcel B of Pecan Bayou Subdivision, Hahnville, Oak Street near Butternut Street.
- ◆ **Requested Action**
Preliminary Plat approval for Pecan Bayou Subdivision, 10 lots in an R-1A zoning district with a waiver from the requirement for street width.

SITE – SPECIFIC INFORMATION

- ◆ **Size of Parcel**
Parcel A consists of 87,793 square feet and Parcel B consists of 80,438 square feet, a total of 3.8 acres; all proposed lots meet or exceed the minimum 60-foot width and 6,000 square foot area for the R-1A district; proposed corner lots meet the additional width requirement with at least 80 feet on both streets.
- ◆ **Current Zoning and Land Use**
The property is zoned R-1A and is cleared but vacant.
- ◆ **Surrounding Zoning and Land Uses**
Parcel A has R-1A, Single Family Residential zoning to the front, rear, and Hickory Street sides; O-L, Open Land zoning is adjacent to the Butternut Street side. Site built single family houses are developed adjacent to the rear and Hickory Street sides; the land to the front across Oak Street and adjacent to the Butternut Street side is cleared but undeveloped.

R-1A zoning and single-family houses abut on each side of Parcel B.
- ◆ **Plan 2030 Recommendations**
Low Density Residential: This category includes the Parish’s predominantly single family detached subdivisions, including those developed consistent with the R-1A (6,000 sq. ft. minimum lot size) and R-1B (10,000 sq. ft. minimum lot size) zoning districts. It also allows accessory units and individual mobile homes on small platted lots zoned R-1AM. Neighborhood-serving uses such as neighborhood parks, churches and servitudes may also be included in this land use category.
- ◆ **Traffic Access**
Hahnville has a street grid that provides good access to both River Road and La 3160. The subdivision is proposed on existing streets with paving that is approximately 17-foot wide.
- ◆ **Utilities**
Representatives from Public Works & Wastewater and Waterworks stated that sewer and water lines are not installed along Oak Street past Hickory or along Butternut Street. In order to complete the major subdivision process, the developer will have to design, construct, and dedicate water, sewer, and drainage facilities as

well as streetlights. The developer has to work with private utilities providers for electricity and telecommunications as well as natural gas, if desired.

APPLICABLE REGULATIONS

Subdivision Ordinance, Section II. Subdivision Procedure.

- D. *Major Resubdivisions.* For any subdivision or resubdivision resulting in six (6) or more lots, including any remainder of the original lot, plat, tract, parcel, and/or any subdivision or resubdivision requiring dedication of public improvements, approval shall consist of preliminary plat approval and construction approval by the Planning and Zoning Commission, and final approval by the Parish Council.
- E. *Preliminary Plat Requirements.*
1. When Required. A formal preliminary plat shall be required for all subdivisions except where no street, drainage, or sewer improvements are required. (See Section II.C.).
 2. Mandatory Submission Requirements. The preliminary plat shall conform to the laws of the State of Louisiana governing surveying, platting, and subdivision of land. The preliminary plat shall contain the following mandatory information:
 - a. The name(s) and address(es) of the owner(s) and subdivider(s).
 - b. The seal of the land surveyor preparing the plat and the date of preparation. The plat shall be dated within one (1) year of the subdivision application date.
 - c. A title block containing the subdivision name, location of the property, a true north arrow, and the required scale for the preliminary plat, both written and graphic. The preliminary plat shall be drawn to a scale of one (1) inch equals one hundred (100) feet for a subdivision of one hundred and sixty (160) acres and less. If the subdivision contains more than one hundred and sixty (160) acres, the preliminary plat may be drawn to a scale of one (1) inch equals two hundred (200) feet.
 - d. Existing property lines, including width and names of bounding streets.
 - e. Section and township lines.
 - f. Zoning district boundary lines, only when such boundary lines bisect the proposed subdivision.
 - g. Location and dimensions of existing improvements, including municipal numbering where applicable.
 - h. Qualifying statement, as follows: "St. Charles Parish land use regulations, including setback standards, supersede private subdivision covenants where parish regulations are more restrictive."
 - i. Existing drainage ditches and canals and their respective servitudes.
 - j. Existing lakes and ponds.
 - k. Name(s) and address(es) of adjoining property owner(s) as they appear on the tax assessor's roles.
 - l. Name(s) of adjoining subdivisions.
 - m. Layout and dimensions, including area, of all proposed lots which shall be numbered consecutively.
 - n. Layout and dimensions of servitudes and rights-of-way, including sidewalks.
 - o. Existing bridges, culverts, watermains, sanitary and storm sewers, and other underground structures indicating pipe sizes, grades, and manholes.
 - p. Existing contours at one-foot intervals using mean sea level datum for ground slope within the subdivisions.
 - q. Proposed method and source of sewage disposal and/or treatment.
 - r. Proposed method and plan for drainage.
 - s. Location and size of any proposed school sites, park sites, playgrounds, or other special uses of land.
 - t. A composite road plan with graphic alignment, proposed street names, right-of-way widths, curve radii and tangent length, intended type of surfacing material, street lighting plan, and the location and type of any proposed railroad crossing(s) for subdivision access.
 - u. Vicinity map at a scale of one (1) inch equals two thousand (2,000) feet.
 - v. Statement of Dedication. Submission of the Preliminary Plat shall be accompanied by a written "Statement of Dedication," indicating the subdivider's intent to submit a final "Act of Dedication" prior to approval of the Final Plat.
 3. Preliminary Plat/Additional Submission Requirements.
 - a. Drainage Impact Analysis. A Drainage Impact Analysis shall be completed by a Civil Engineer registered with the State of Louisiana for all subdivisions of property of one (1) acre or greater. The said Drainage Impact Analysis shall be prepared pursuant to the guidelines specified in these regulations. (Ord. No. 00-11-12, § III, 11-20-00)
 - b. Preliminary Subdivision Stormwater Pollution Prevention Plan. A Stormwater Pollution Prevention Plan, including all required documentation, shall be submitted in accordance with Chapter 25—Stormwater Management and Erosion and Sedimentation Control, Section 25-14.
 4. Preliminary Plat Procedure.

- a. Submission Procedure. An application for subdivision approval and the Preliminary Plat shall be submitted to the Director of Planning and Zoning from the record owner(s) of the property being subdivided. If the property is in the name of a corporation, a resolution authorizing the subdivision or authorizing an individual to request such approval shall be submitted. One (1) Mylar or film reproducible copy, five (5) original copies, and one (1) 11" x 17" Mylar or film reproducible copy of the Preliminary Plat shall accompany the application. Upon submission, the Preliminary Plat shall be stamped with the date of filing, and with an acknowledgment that the required filing fees have been paid.
- b. Departmental Review. The Director of the Department of Planning and Zoning shall then review the Preliminary Plat for conformance with the relevant land use regulations. The Director of Planning and Zoning shall inform the subdivider in writing within fifteen (15) calendar days of the date of receipt of the Preliminary Plat the data submitted does or does not meet the objectives of these subdivision regulations. If the data submitted does not meet the objectives of these regulations, the reason(s) shall be so stated. When the Preliminary Plat is found to conform to these regulations, the Commission, through the Department of Planning and Zoning, shall schedule a public hearing on the proposed subdivision.

Subdivision Ordinance, Section II. Subdivision Procedure. E. 4.

- e. Public Hearing/Decision Process. The subdivider or his representative shall be present at the public hearing to explain the proposal and to answer questions. Following the public hearing, the Commission shall either:
 - (1) Approve the Preliminary Plat as submitted.
 - (2) Conditionally approve the Preliminary Plat with conditions stated in writing.
 - (3) Disapprove the Preliminary Plat within sixty (60) calendar days of the date of the public hearing unless the time is extended by mutual agreement between the Commission and the subdivider.

The reason(s) for disapproval shall be stated in writing to the subdivider. Approval or conditional approval shall be evidenced by the Commission Chairman's signature on the Preliminary Plat. Any conditions or requirements shall be referenced and attached to the Preliminary Plat and application. The Commission, through the Department of Planning and Zoning, shall notify the Parish President and the Parish Council of the decision regarding the presented Preliminary Plat. Approval or conditional approval shall be valid for a period of six (6) months from the date of the Commission decision, unless extended by the Commission. Preliminary Plat approval of any successive phase of an approved subdivision expires when construction is interrupted on any such phase for a period of six (6) months or more.

Subdivision Ordinance, Section III. Geometric Standards

III. - Geometric standards.

- A. *Streets*. Streets shall be arranged to conform to the St. Charles Parish Street Plan and shall provide for continuation of existing and recorded streets in the area.
 1. Classification. Streets shall be classified as one of the following:
 - a. Arterial. Streets, including freeways and expressways, which are primarily for through traffic. Property which abuts arterial streets should not front onto the roadway unless separated by a service road.
 - b. Collector. Streets which provide a route between an arterial street and a local street and should be arranged to discourage through traffic.
 - c. Local. Streets which provide direct access to lots. Local streets shall be arranged to discourage through traffic.
 2. Right-of-Way. Street right-of-way width shall conform to the following minimum requirements.
 - a. Arterial. In curb and gutter subsurface drainage subdivisions, the requirement shall be eighty (80) feet for two-lane roadways and one hundred (100) feet for four-lane roadways. If a waiver to the required subsurface design is obtained, the requirement for open-swale designed subdivisions shall be seventy (70) feet for two-lane roadways and one hundred (100) feet for four-lane roadways.
 - b. Collector and Local. In curb and gutter subsurface drainage subdivisions, the requirement shall be fifty (50) feet. If a waiver to the required subsurface design is obtained, the requirement for open-swale designed subdivisions shall be sixty (60) feet.
 - e. Dead End Street. Permanent dead end streets shall have a turning circle (cul-de-sac) at the street terminus with a minimum right-of-way radius of sixty (60) feet. The turning circle shall contain a minimum pavement radius of forty-five (45) feet. The entrance to a permanent dead end street shall be posted with a sign stating "No Through Street".
 - f. Boulevards. One hundred (100) feet.
 4. Utilities. Space within the street right-of-way shall be designated for the construction of subsurface or open-swale drainage, sanitary sewers and public facilities and shall be in accordance with the typical sections.
 - a. Water lines located in the street right-of-way shall be placed on the opposite side of the street from sanitary sewer lines unless a variation is approved by the Parish Engineer.
 - b. Street light standards may be located on either side of the street or in the center of the median on boulevards.

5. Intersections. Street centerlines shall intersect as nearly as possible at a ninety (90) degree angle, but in no case shall the angle of intersection be less than seventy-five (75) degrees or greater than one hundred five (105) degrees.

B. *Blocks:*

1. Length. No block shall be longer than one thousand five hundred (1,500) feet nor less than five hundred (500) feet between street centers. Block separation, including stub outs, shall be paved to provide a minimum of two (2) ingresses and egresses to the proposed subdivision or accommodation for future access may be approved. (Ord. No. 06-1-23, § IV, 1-23-06)
2. Width. The width of blocks should normally be sufficient to provide for two (2) tiers of lots except for lots abutting arterial streets, railroad rights-of-way, etc.
3. Arrangement. All lots shall possess frontage on a street or roadway that meets the specifications of these regulations. When the subdivision of a parcel of land does not permit a normal street arrangement due to size or location of the land, there may be established a street with a cul-de-sac or turning circle which provides proper access to all lots. A cul-de-sac or turning circle, as described in Section III.A.2.e., shall be required at the end of dead end streets when the length of the dead end street exceeds the width of two (2) lots.

C. *Lots:*

1. Size. The width, depth, area, and minimum building setback line shall conform to the St. Charles Parish Zoning Ordinance for the type of development.
 - a. Corner Lot. Corner lots shall have extra width to permit setback lines on the side of the lots adjacent to a side street. The extra width shall be sufficient to allow the lot to meet the minimum zoning requirements of the St. Charles Parish Zoning Ordinance excluding the side street setback distance.
 - b. Width. The lot width at the minimum building setback line shall not be less than that specified by the St. Charles Parish Zoning Ordinance.
2. Lot Lines. All lot side lines shall be at right angles to straight street lines or radial to curved street lines unless a variation is approved in writing by the Commission.
3. Large Lots. When a parcel of land is subdivided into large lots, the Commission may require the shape and dimensions of the lots arranged so that resubdivision of any lots will meet the requirements of these Regulations and the St. Charles Parish Zoning Ordinance.

D. *Servitudes and Rights-of-Way:*

1. Utility Servitudes. Public utility servitudes shall be provided where necessary for poles, wires, conduits, sanitary sewers, and other utilities. The minimum width of servitude[s] shall be fifteen (15) feet.
2. Drainage Servitude. Whenever a drainage channel, stream, or water course exists or is provided for in a subdivision, a servitude or right-of-way shall be dedicated on each side of such facilities to provide for maintenance and construction. The minimum width shall be the top bank width of the drainage ditch plus twenty (20) feet on one (1) side and ten (10) feet on the opposite side.

E. *Building Lines.* Building setback lines shall meet the minimum requirements of the St. Charles Parish Zoning Ordinance for the type of development.

F. *Parks, Playgrounds, School Sites, Etc.* In order that open space and sites for public use may be properly located and preserved as the parish develops, and in order that the cost of providing the public school, park and recreation sites necessary to serve the additional families brought into the community by residential subdivision development may be more equitably proportioned on the basis of the additional need created by the individual residential subdivision developments, the following provisions are established.

AND

[I.] *R-1A. Single family residential detached conventional homes—Medium density.*

Policy statement: This district is composed of areas containing one-family dwellings constructed on a permanent foundation, connected to public utilities and which meet the architectural standards of a permanent residence. The district regulations are designed to protect the residential character of the areas by prohibiting all commercial activities; to encourage a suitable neighborhood environment for family life by including among the permitted uses such facilities as schools and churches; and to preserve the openness of the areas by requiring certain minimum yard and area standards to be met.

1. Use Regulations:

a. A building or land shall be used only for the following purposes:

- (1) Site-built single-family detached dwellings
- (2) Accessory uses
- (3) Private recreational uses

b. Special exception uses and structures include the following:

- (1) Parks, public libraries, fire stations, police or sheriff's stations or substations, and sewer pumping stations.
- (2) Showing the operation of historic buildings and/or sites and their related activities, provided a certificate from the United States Department of Interior is furnished by the owner verifying that the building and/or site is on the National Register of Historic Places.

- c. Special permit uses and structures include the following:
 - (1) Child care centers.
 - (2) Public and private schools (except trade, business, and industrial).
 - (3) Golf courses (but not miniature courses or driving ranges) and country clubs with a site of at least five (5) acres and with all parking at least fifty (50) feet from rear and side property lines.
 - (4) Educational, religious and philanthropic institutions. These buildings must be set back from all yard lines a distance of at least one (1) foot for each foot of building height.
 - (5) Modular, panelized and precut homes, provided that they are placed on a permanent foundation.
 - (6) Reserved.
 - (7) Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
 - (8) Accessory Dwelling Units upon approval by the Planning Commission and supporting resolution of the Council.
- 2. Spatial Requirements:
 - a. Minimum lot size: Six thousand (6,000) square feet per family; minimum width—sixty (60) feet
 - b. Minimum yard sizes:
 - (1) Front—Twenty (20) feet
 - (2) Side—Five (5) feet
 - (3) Rear—Twenty (20) feet
 - (4) For lots with less than one hundred (100) feet depth, front setback and rear setback shall be twenty (20) percent of lot depth respectively with a minimum of ten (10) feet to the front lot line and five (5) feet to the rear lot line.
 - (5) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, notwithstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8.
 - c. Accessory buildings:
 - (1) An accessory building may occupy no more than twenty-five (25) percent of the required rear yard.
 - (2) The accessory building shall not exceed two-story construction.
 - (3) Minimum setback of accessory buildings including overhangs, shall be three (3) feet.
 - (4) Nonresidential accessory buildings shall not be permitted.
 - d. Permitted encroachments:
 - (1) Overhangs projecting not more than twenty-four (24) inches, excluding gutter. For accessory buildings, overhangs shall not be closer than three feet to any property line.
 - (2) Stairs and landings not more than three (3) feet in height, projecting no more than four (4) feet into required front or rear yard.

ANALYSIS

The applicant requests Preliminary Plat Approval for Pecan Bayou Subdivision, Hahnville, a 10-lot subdivision in an R-1A zoning district. All of the proposed lots meet geometric standards for lots and exceed the required 60-foot width and 6000-square foot area. Oak Street and Butternut Street are 50-foot wide Parish rights-of-way with a 17-foot wide asphalt surface lined by ditches. The applicant requests a waiver from the requirement for 22-feet of road surface to the existing 17-feet.

The Subdivision Regulations require major subdivisions to obtain Planning and Zoning Commission approval in two phases. The first is the Preliminary Plat, or conceptual layout. If approved, the developer completes and submits construction design plans for review by Parish departments. Construction Approval is the second phase. After the Planning Commission approves the construction plans, the developer can begin construction. Parish Departments monitor the construction of the drainage, water, sewer, utilities, and streets. When construction is complete and certified to meet Parish standards, the developer can request Final Plat Approval from the Parish Council, which includes a dedication of the streets and infrastructure to the Parish for public use. When the Final Plat is approved and recorded in the Clerk of Courts, the developer can begin selling lots.

The Preliminary Plat contains all 22 elements required by the Subdivision Regulations, and the applicant has submitted the required drainage impact analysis and Preliminary Subdivision Storm Water Pollution Prevention Plan. All of the lots exceed the minimum

width and area requirements for the R-1A zoning district and meet the geometric standards. The existing streets do not meet current standards having 17-feet of asphalt surface and by above ground stormwater conveyance within a 50-foot right-of-way.

The plat shows an upgrade to subsurface drainage. If approved, the developer will begin design work on construction plans for the drainage system, water, sewer, and streetlights.

DEPARTMENT RECOMMENDATIONS

Approval, contingent upon approval of a waiver from the required 22-foot wide street surface.
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**INTRODUCED BY: LARRY COCHRAN, PARISH PRESIDENT
(DEPT. OF PLANNING & ZONING)**

RESOLUTION NO. _____

A resolution providing supporting authorization to endorse a waiver from the requirements of the Subdivision Regulations of 1981 to allow 17-feet of street paving where 22-feet is required (Section IV. Design Standards A. Streets 1. Pavement Width. b. Collector and Local Streets), as requested by Pecan Bayou Real Estate, LLC.

WHEREAS, the St. Charles Parish Subdivision Ordinance of 1981 requires that the St. Charles Parish Council endorse waivers from subdivisions; and,

WHEREAS, the subdivider has requested a waiver from the requirement for street width; and,

WHEREAS, the Planning and Zoning Commission [approved/denied] the requested waiver at their May 2, 2019 meeting.

NOW, THEREFORE, BE IT RESOLVED THAT THE ST. CHARLES PARISH COUNCIL, hereby provides this supporting authorization to endorse a waiver from the Subdivision Regulations of 1981, to allow 17-feet of street paving on Butternut Street and a portion of Oak Street in Pecan Bayou Subdivision, as requested by Pecan Bayou Real Estate, LLC.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

And the resolution was declared adopted this ___day of _____, 2019, to become effective five (5) days after publication in the Official Journal.

CHAIRMAN: _____

SECRETARY: _____

DLVD/PARISH PRESIDENT: _____

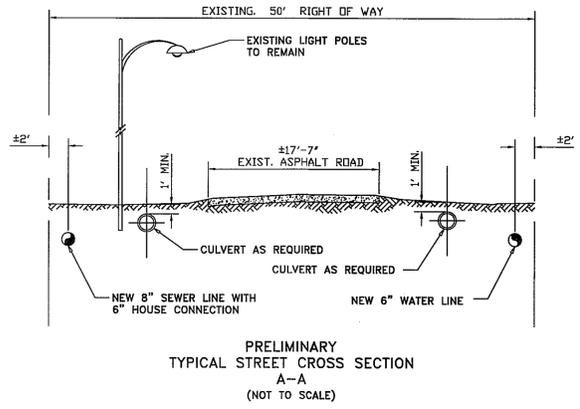
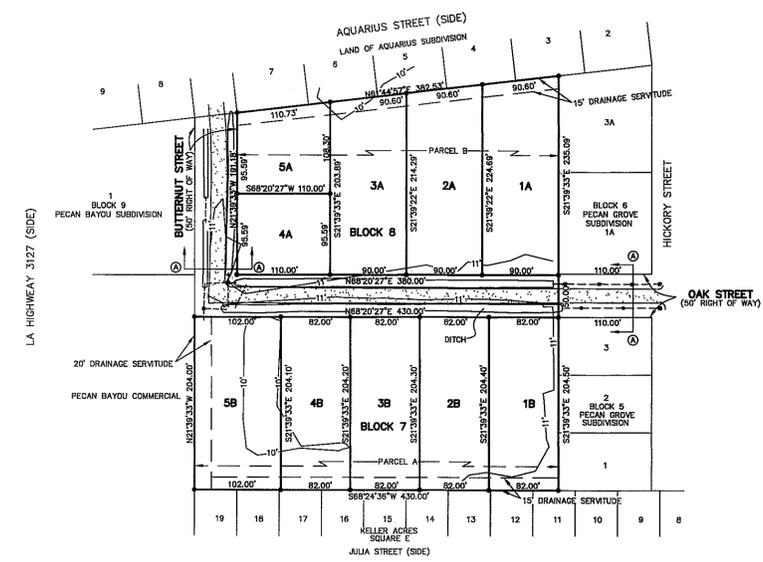
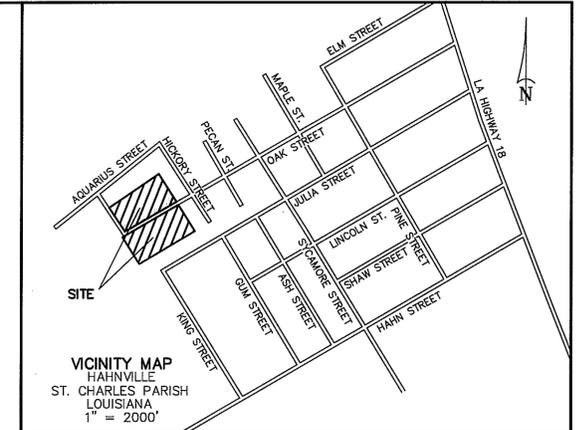
APPROVED: _____ DISAPPROVED: _____

PARISH PRESIDENT: _____

RETD/SECRETARY: _____

AT: _____ RECD BY: _____

**PRELIMINARY PLAN
PECAN BAYOU SUBDIVISION**
SURVEY PLAT AND RESUBDIVISION OF PARCEL A OF BLOCK 7 & PARCEL B OF BLOCK 8
OF PECAN BAYOU SUBDIVISION INTO LOTS HEREIN DESIGNATED AS
LOTS 1B, 2B, 3B, 4B & 5B, BLOCK 7 &
LOTS 1A, 2A, 3A, 4A & 5A, BLOCK 8,
PECAN BAYOU SUBDIVISION
SITUATED IN SECTION 26, T-13-S, R-20-E
HAHNVILLE, ST. CHARLES PARISH, LOUISIANA



CURRENT ZONING: ZONE R1-A
FRONT SETBACK 20'
SIDE SETBACK 5'
REAR SETBACK 20'

SURVEY REFERENCE: 1. THE REVOCATION OF WALNUT STREET EAST OF OAK STREET AND THE REVOCATION OF A PORTION OF BUTTERNUT STREET EAST OF OAK STREET AND RESUBDIVISION OF THE REVOCATED STREETS, LOTS 4, 5 & 6, BLOCK 5, LOTS 1 THROUGH 6, BLOCK 7, PECAN BAYOU SUBDIVISION INTO PARCEL A, PECAN BAYOU SUBDIVISION BY J.F. RUELO, P.L.S. DATED 9/22/2018.
2. THE REVOCATION OF WALNUT STREET WEST OF OAK STREET AND RESUBDIVISION OF THE REVOCATED STREET, LOTS 5, 6 & 7, BLOCK 8, LOTS 1 THROUGH 6, BLOCK 8, PECAN BAYOU SUBDIVISION INTO PARCEL B, PECAN BAYOU SUBDIVISION BY J.F. RUELO, P.L.S. DATED 9/22/2018.

BASIS OF BEARING: BEARINGS HEREON ARE ESTABLISHED BY THE LOUISIANA STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE 1702 USING IECA SMARTNET SOLUTION DATED 2/19/2019 NAD83.

FLOOD NOTE: THE SURVEYED PARCEL IS IN ZONE "X" PER FEDERAL INSURANCE RATE MAP NUMBER 220160-0125C DATED 6/16/1992.

SURVEYOR'S NOTES:

A. NO TITLE OPINION WAS PROVIDED TO THIS FIRM, THEREFORE NO CERTIFICATION IS GIVEN TO THE EXISTENCE OF OTHER SERVITUDES OR EASEMENTS WHICH MAY EXIST OTHER THAN THOSE SHOWN.

B. DITCHES AND UNDERGROUND LINES OR CONDUITS ARE SHOWN.

C. ST. CHARLES PARISH LAND USE REGULATIONS, INCLUDING SETBACK STANDARDS, SUPERSEDE PRIVATE SUBDIVISION CONVENIENCE WHERE PARISH REGULATIONS ARE MORE RESTRICTIVE.

D. SEWAGE DISPOSAL— NO PERSON SHALL PROVIDE A METHOD OF SEWAGE DISPOSAL, EXCEPT CONNECTION TO AN APPROVED SANITARY SYSTEM, UNTIL THE METHOD OF TREATMENT AND DISPOSAL LAWS HAVE BEEN APPROVED BY THE LOUISIANA DEPARTMENT OF HEALTH.

E. DRAINAGE IS PROVIDED THROUGH EXISTING OPEN SWALE DITCHES THAT DRAINS INTO THE EXISTING DRAIN SYSTEM.

F. ELEVATIONS HEREON DERIVED BY GPS IECA SMARTNET SOLUTION DATED 2/28/2019 DATUM NAVD83 (GEOID 12A)

- ADJACENT OWNERS:**
- LAND OF AQUARIUS SUBDIVISION
LOT 2 MEL C. FAUCHEUX 605 AQUARIUS STREET HAHNVILLE, LA 70057
LOT 3 LAWRENCE P. ZERINGUE 619 AQUARIUS STREET HAHNVILLE, LA 70057
LOT 4 LAWRENCE P. ZERINGUE 619 AQUARIUS STREET HAHNVILLE, LA 70057
LOT 5 CALVIN A. DAIGLE, JR. 633 AQUARIUS STREET HAHNVILLE, LA 70057
LOT 6 PERNALL M. DINVAUT 641 AQUARIUS STREET HAHNVILLE, LA 70057
LOT 7 ROLAND BECNEL, JR. 649 AQUARIUS STREET HAHNVILLE, LA 70057
- PECAN BAYOU SUBDIVISION
BLOCK 5
LOT 1 BLANCHARD DAVIS, JR. 101 HICKORY STREET HAHNVILLE, LA 70057
LOT 2 JAMES WILLIAMS III 111 HICKORY STREET HAHNVILLE, LA 70057
LOT 3 SUZANNE G. TIMMONS 123 HICKORY STREET HAHNVILLE, LA 70057
- PECAN BAYOU SUBDIVISION
BLOCK 6
LOT 1A BARRY A. CANNON 201 HICKORY STREET HAHNVILLE, LA 70057
LOT 3A JOHN R. WEBB 235 HICKORY STREET HAHNVILLE, LA 70057
- KELLER ACRES
SQUARE E
LOT 11 ELLIS ANTHONY ALEXANDER 626 JULIA STREET HAHNVILLE, LA 70057
LOT 12 DWAYNE ALEXANDER 628 JULIA STREET HAHNVILLE, LA 70057
LOT 13 DORIS D. ALEXANDER, ET. AL. JULIA STREET HAHNVILLE, LA 70057
LOT 14 EDWARD JOHNSON 636 JULIA STREET HAHNVILLE, LA 70057
LOT 15 EDWARD JOHNSON 636 JULIA STREET HAHNVILLE, LA 70057
LOT 16 EDWARD JOHNSON 636 JULIA STREET HAHNVILLE, LA 70057
LOT 17 EDWARD JOHNSON 636 JULIA STREET HAHNVILLE, LA 70057
LOT 18 EDWARD JOHNSON 636 JULIA STREET HAHNVILLE, LA 70057
LOT 19 EDWARD JOHNSON 636 JULIA STREET HAHNVILLE, LA 70057

AREA TABLE			
BLOCK 7		BLOCK 8	
1B	16,785 SQ. FT.	1A	20,890 SQ. FT.
2B	16,756 SQ. FT.	2A	19,754 SQ. FT.
3B	16,748 SQ. FT.	3A	18,818 SQ. FT.
4B	16,740 SQ. FT.	4A	10,515 SQ. FT.
5B	20,812 SQ. FT.	5A	11,214 SQ. FT.

DEVELOPER: PECAN BAYOU REAL ESTATE LLC
1904 ORMOND BOULEVARD
SUITE 101
DESTREHAN, LA 70047

OWNER: PECAN BAYOU REAL ESTATE LLC
1904 ORMOND BOULEVARD
SUITE 101
DESTREHAN, LA 70047

NOTE: IT IS THE DEVELOPER'S INTENT TO SUBMIT A FINAL ACT OF DEDICATION PRIOR TO THE APPROVAL OF THE FINAL PLAT.

APPROVED:

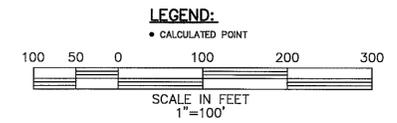
PARISH PRESIDENT _____ DATE _____

PLANNING & ZONING COMMISSION CHAIRMAN _____ DATE _____

CHAIRMAN OF THE PARISH COUNCIL _____ DATE _____

RECORDED IN THE CLERK OF COURT'S OFFICE
ST. CHARLES PARISH ON THE _____
DAY OF _____, IN BOOK _____
FOLIO _____, ENTRY # _____

ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSIONS, RELOCATION'S OR MODIFICATIONS SHALL BE MADE BY AND SOLELY AT THE LOT OWNER'S EXPENSE



SURVEYOR'S CERTIFICATION: THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND DOES NOT COMPLY WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS B SURVEY. THIS IS A PRELIMINARY PLAT ONLY.

1	4/11/2019	REVISED STREET CROSS SECTION	KPB
NO.	DATE	DESCRIPTION	BY
REVISIONS			
DRAWN BY: KPB		SHEET NO. 1 OF 1	
DATE: FEBRUARY 28, 2019		DRAWING NO. L1143_W03430	

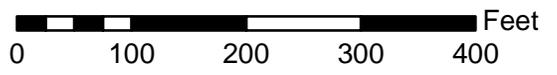
STEPHEN P. FLYNN
 P.L.S. LA. ST. REG. NO. 4668

RIVERLANDS SURVEYING COMPANY
 505 HEMLOCK STREET
 LAPLACE, LA. 70068
 1-800-248-6992
 983-652-6356

2019-5-MAJ

Requested by: Pecan Bayou Real Estate, LLC

10 Lot Major Subdivision



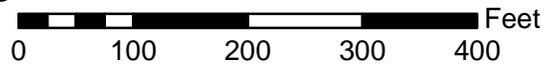
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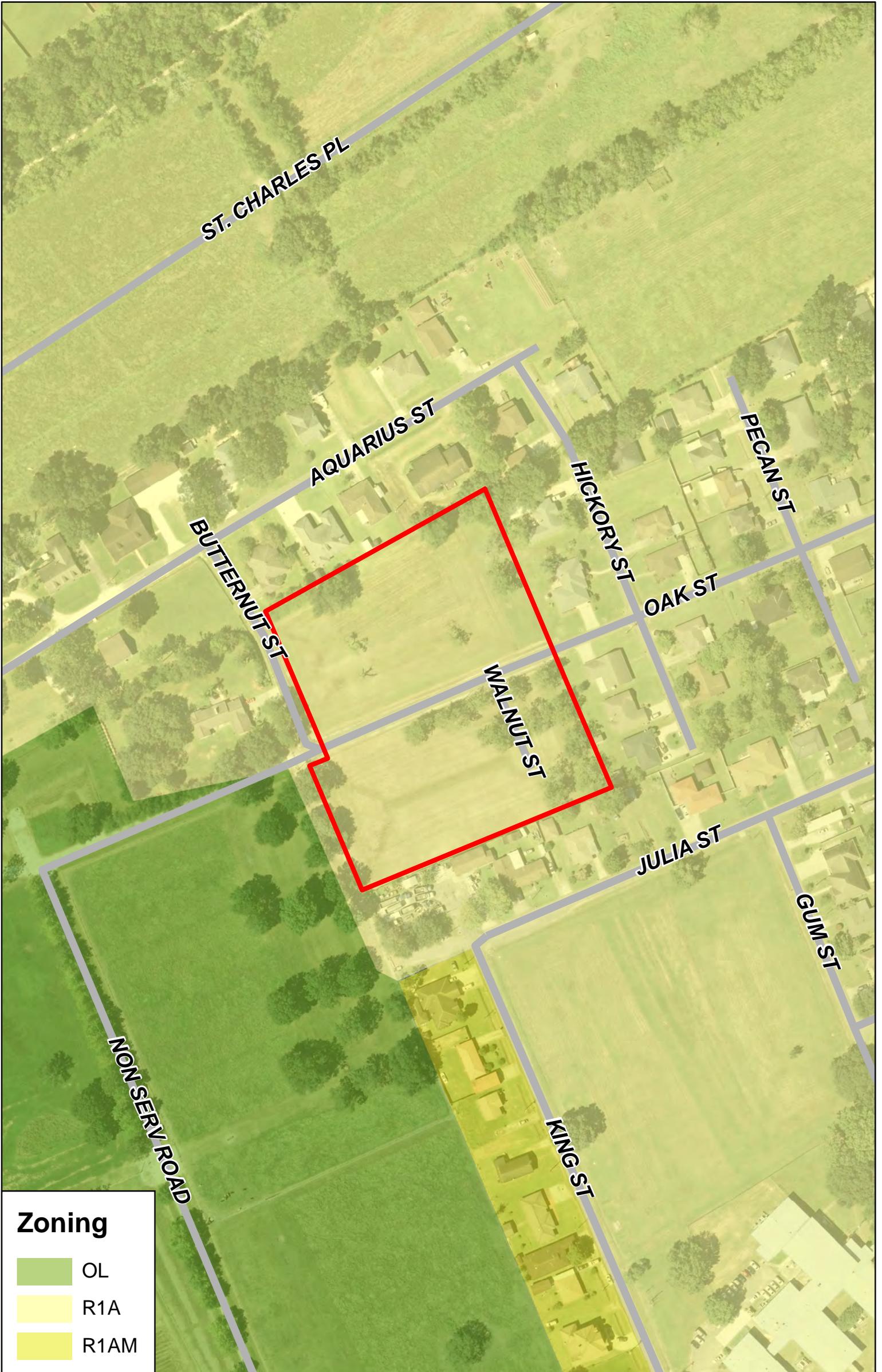
2019-5-MAJ

Requested by: Pecan Bayou Real Estate, LLC

10 Lot Major Subdivision



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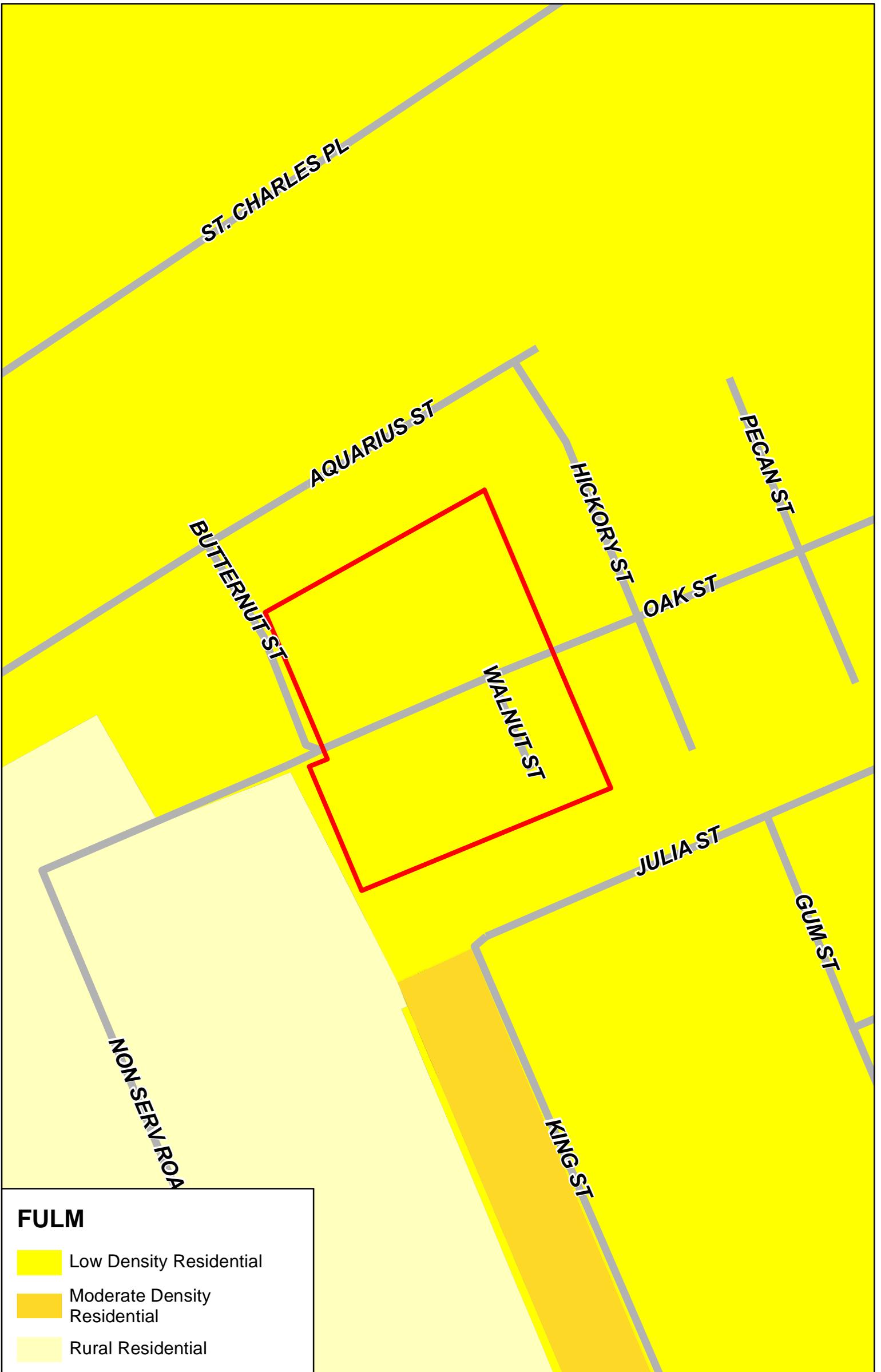
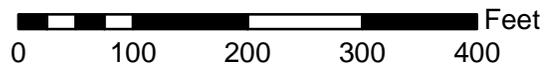
Zoning

-  OL
-  R1A
-  R1AM

2019-5-MAJ

Requested by: Pecan Bayou Real Estate, LLC

10 Lot Major Subdivision



FULM

-  Low Density Residential
-  Moderate Density Residential
-  Rural Residential

St. Charles Parish Department of Planning & Zoning

LAND USE REPORT CASE NUMBER: 2019-5-R

GENERAL INFORMATION

- ◆ **Name/Address of Applicant** **Application Date: 4/3/19**
Renton Properties, LLC
160 W. Airline Highway
Kenner, LA 70062
(504)-464-0431; edrenton@aol.com
- ◆ **Location of Site**
Portions of Lots 1, 2, 3, and 4 (proposed Lot 2A) of the John Lambert Tract; approximately 42.29 acres between the Illinois Central and Kansas City Southern railroads, St. Rose
- ◆ **Requested Action**
Rezoning from OL, Open-Land and C-3, Highway Commercial to M-1, Light Manufacturing and Industry

SITE INFORMATION

- ◆ **Size of Parcel**
The site is 42.29 acres: its northern boundary is 797.81 along the Kansas City Southern Railroad and its southern boundary is 595.86 along the Illinois Central Gulf Railroad.
- ◆ **Current Zoning and Land Use**
The bulk of the site is zoned OL with the northern 1/3 of zoned C-3; the entire site is vacant and wooded.
- ◆ **Surrounding Zoning and Land Use**
C-3 zoning abuts to the north; C-3/O-L zoning to the west; O-L to the south; M-1 to the east;

To the north and west abutting property is vacant and wooded. Riverbend Estates Subdivision, a built-out single-family neighborhood abuts to the south, across the railroad. Abutting on the east, Lot 5-1 is 40.284 acres. Approximately 28 acres of the site cleared and in use by Williams Scotsman, Inc. for sales, repair, and storage of modular buildings.

Immediately east of the subject property, 12 acres of Lot 5-1 are vacant and wooded.

- ◆ **Future Land Use Recommendation**
General Commercial: Includes sites for commercial uses that provide a mix of business activities and that serve the community as a whole. These uses provide for comparison shopping and services which are ordinarily obtained on an occasional rather than daily basis. In general, this designation applies to most commercial uses that are permitted in the C-2 (General Commercial–Retail) and all of the uses permitted in the C-3 (Highway Commercial) zoning districts.

Moderate Density Residential: (8 dwellings per gross acre and greater) This category includes single family detached dwellings developed consistent with the R-1AM zoning district; attached dwellings such as duplexes, patio / zero-lot line homes and townhomes consistent with the R-2 zoning district; multifamily housing developed consistent with the R-3 zoning district; and accessory units. Neighborhood-serving uses such as parks, churches, easements and ancillary neighborhood commercial uses permitted under the CR-1 zoning district or permitted subject to special exceptions or special permits

◆ **Traffic Access**

No portion of the site abuts or has frontage on a street. Access is limited.

◆ **Utilities**

Parish utilities are not developed along any portion of the site.

Water service is available across either railroad; Williams Scotsman accesses Parish water from Almedia Plantation Road with a service meter near Eisenhower Street. Waterworks representatives indicate that water from either location would have to be extended at a developer's expense. If it crosses Lot 5-1, it would have to pass through private servitudes.

Sewer serves Williams Scotsman. Staff have inquired how sewer might be extended to serve the site.

APPLICABLE REGULATIONS

[I.] M-1 Light manufacturing and industry district:

1. Use Regulations: A building or land may be used for the following purposes if in accordance with the special provisions outlined below.
 - a. A building or land shall be used only for the following purposes:
 - (1) Those uses identified as items 2 through 27 as listed in the C-3 District.
 - (2) Office parks which shall include groups or clusters of administrative, professional, and other business offices as well as individual banks and restaurants.
 - (3) Agriculture and other general farming uses.
 - (4) Warehousing and storage of nonhazardous material.
 - (5) Assembly plants.
 - (6) Bottled gas sales and/or service.
 - (7) Food processing plants.
 - (8) Cellophane products manufacturing.
 - (9) Cold storage or refrigerating plants.
 - (10) Electrical parts manufacturing and assembly.
 - (11) Fiber products manufacturing (previously prepared fiber).
 - (12) Garment manufacturing.
 - (13) Glass products manufacturing.
 - (14) Ironwork (no foundry, drop hammer, and no punch presses over twenty (20) tons capacity).
 - (15) [Repealed by Ord. No. 92-1-1, § I, 1-21-92.]
 - (16) Leather products manufacturing (previously prepared leather).
 - (17) Machinery equipment sales and service.
 - (18) Millwork.
 - (19) Paint mixing and treatment (not employing a boiling process).
 - (20) Paper products manufacturing (previously prepared material).
 - (21) Plastic products manufacturing (previously prepared material).
 - (22) Sheet metal products manufacturing (light).
 - (23) Sign manufacture.
 - (24) Open storage of building material, lumber, machinery and pipe, provided the material is enclosed within a solid fence at least six feet high within required building lines when the storage area is adjacent to or across the street from an A, R, or C District.
 - (25) Railroad freight terminals, switching and classification yards, repair shops, roundhouse, power houses and fueling, sanding and watering stations.
 - (26) Television and radio broadcasting transmitters.
 - (27) Textile products manufacturing.
 - (28) Toy manufacturing.
 - (29) Well drilling services.
 - (30) Wood products manufacturing (assembling work and finishing).
 - b. Special exception uses and structures (variation):
 - (1) Temporary construction facilities for a period of one (1) year upon approval of the Planning Director. (Ord. No. 88-9-9, 9-6-88)
 - c. Special permit uses and structures include the following:
 - (1) Office buildings for gambling operations, excluding all gaming activities, upon review and approval by the Planning Commission and supporting resolution of the Council. (Ord. No. 94-1-9, § V, 1-10-94)
 - (2) Operations which store or utilize hazardous materials identified through guidelines contained in subsection VI.D.1.4.b. of these regulations upon review and approval of the Planning Commission and supporting resolution of the Council.
 - (3) Cellular installations and PCS (personal communication service) installations.
 - (4) Truck terminals (with video poker gaming facilities) upon review and approval of the Planning Commission, and supporting resolution of the Council. Truck terminals with video poker gaming facilities shall conform to the regulations set forth by the state of Louisiana and to the following regulations:
 - (1) Frontage shall be on a median-divided, major arterial with a minimum of 4-roadway lanes, and having federal or state designation.

- (2) Minimum lot size of site shall be ten (10) acres.
 - (3) Truck terminals with video poker gaming facilities shall also have all of the following amenities:
 - a) A separate truckers' lounge
 - b) A full-service laundry facility located in a convenient area for truckers' use
 - c) Private showers for men and women and not located in an area open to general public restroom facilities
 - d) A travel store with items commonly referred to as truckers' supplies (items commonly used only by commercial motor vehicles)
 - e) Truck scales
 - f) Separate truckers' telephones
 - g) Permanent storage facilities for fuel
 - (4) These regulations shall not be applied to any truck stops with video poker gaming facilities which have received a Certificate of Zoning Compliance previous to the date of this ordinance, notwithstanding any other provisions of this ordinance.
 - (5) Towing yard. Towing yards, upon review and approval by the Planning Commission and supporting resolution of the Council, shall conform to the following regulations:
 - (1) Site plan approval. All tow yard operators must secure approval of a site plan. The site plan shall include:
 - a) The storage layout and the maximum number of vehicles proposed to be stored. All storage parking spaces shall open directly to an access drive. Vehicles shall not be stored on top of each other. All vehicles shall be stored on an aggregate parking surface;
 - b) A seven-foot solid, opaque fence will enclose such yards and shall be maintained in a constant state of good repair. Entrances will be constructed of the same material as the fence. All entrances shall remain closed when not in use;
 - c) A ten (10) foot buffer zone when abutting a C-3 or lesser intensive use or zoning district. The buffer shall be planted with acceptable trees and shrubs;
 - d) All buildings and structures to be located on the site and the required off-street parking layout.
 - (2) Towing yard operators shall maintain records of each vehicle and its storage period. These records shall be available upon request of the planning department.
 - (3) Towing yards shall also adhere to state and local licensing requirements.
 - (4) Any change of permitted plan will result in a cease and desist order being placed on the towing yard.
 - (6) Green markets upon review and approval by the Planning Commission and supporting resolution of the Council. Such sites must possess frontage on a hard-surfaced public collector or arterial street.
 - (7) Barrooms, night clubs, lounges and dancehalls upon review and approval by the Planning Commission and supporting resolution of the Council.
 - (8) Automotive racing tracks and strips upon receiving a recommendation of the Planning and Zoning Commission and an ordinance granting approval by the Parish Council.
 - (9) Disposal and/or deposition of directional boring slurry upon receiving a recommendation by the planning and zoning commission and an ordinance granting approval by the parish council. The requirement for a special permit shall not apply to directional boring associated with oil and gas production, nor shall it apply to the incidental or accidental deposition at the site of the boring.
2. Spatial Requirements:
 - a. Minimum lot size: Ten thousand (10,000) square feet. Minimum width: One hundred (100) feet.
 - b. Minimum yard sizes:
 - (1) Front - twenty-five (25) feet
 - (2) Side - fifteen (15) feet
 - (3) Rear - twenty-five (25) feet.
 - (4) Whenever property abuts a major drainage canal as defined by the Subdivision regulations the required setback for all structures shall be ten (10) feet measured from the inner boundary of such servitude or right-of-way, not withstanding any other more restrictive setbacks, this provision shall not apply to any lot of record created and existing prior to the effective date of Ordinance No. 99-12-8, December 15, 1999.
 3. Transportation System: Arterial, rail, water.
 4. Special Provisions:
 - a. No manufacturing operations within the M-1 zoning district shall emit odors, gas or fumes beyond the lot line or produce a glare beyond the lot line. All facilities shall be dust-proofed including walkways, driveways and parking areas. All operations must be conducted within a building or within an area enclosed on all sides by a solid fence or wall no less than six (6) feet in height.
 - b. Where any industrial or commercial use in an M-1 zoning district abuts any residential district or use, a six-foot high solid wood or vinyl fence or masonry wall shall border the same and there shall be a buffer strip fifteen (15) feet wide designated and maintained on the site planted with plant materials acceptable for buffer zones unless the Planning and Zoning Department shall require a greater buffer strip.
 - c. The use(s) shall not receive, process, or create hazardous materials which are listed on the latest National Toxicology Programs Annual Report on Carcinogens, SARA Title III section 302 (EHS), and/or SARA Title III Section 313 (toxicity) without a special permit as identified in section VI.D.[I].1.c of this ordinance. Whenever a proposed development or expansion involves chemical processing or storage on a site in an M-1 zoning district and the uses do not require a special permit as identified in section VI.D.[I].1.c of this ordinance, certification shall be furnished by a

chemical engineer, registered in the State of Louisiana and approved by the Parish of St. Charles, that materials associated with the enterprise do not appear on cited hazardous material lists. Those chemicals or materials which are permitted under this regulation either by special permit or certification of compliance, shall be stored in accordance with the National Fire Protection Association Flammable and Combustible Liquids Code (NFPA 30 1990), or amended version. With regard to placement of allowable materials on site, the minimum distance in feet from property line which is or can be built upon, including the opposite side of a public roadway, shall be two times the minimum distances required by NFPA 30. In the event the distances required by this paragraph exceed the minimum distances required by NFPA 30, then the requirements of this paragraph shall govern.

Appendix A. Section XV. - Amendment procedure

D. *Rezoning guidelines and criteria:* Before the Commission makes a recommendation or the Council rezones property; there should be reasonable factual proof by the proponent of a change that one or more of the following criteria are met:

1. The proposed rezoning conforms to land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.
2. The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property. One or more of following examples may be used in evaluating reasonableness:
 - a. Consideration of uses on adjacent properties that would limit the use of the site under consideration.
 - b. Consideration of unique or unusual physical or environmental limitations due to size, shape, topography or related hazards or deficiencies.
 - c. Consideration of changes in land value, physical environment or economic aspects which can be shown to limit the usefulness of vacant land or buildings.
3. Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.

The Planning Staff shall base rezoning analyses on these criteria but shall not be prohibited from factoring unique circumstances of the application into the analysis. The Planning and Zoning Commission may state in its recommendations to the Council: its concurrence with, or rejection of, any or all of the proponents' case for the suggested amendment, and/or its position relative to proponents' statements on the case. Planning Staff analyses and recommendations shall be forwarded to the Council along with the Commission's recommendations.

E. *Rezoning approval criteria:* Before the Council votes to approve a rezoning, there should be reasonable factual proof by the applicant that:

1. The proposed map amendment is in compliance, or is not in conflict, with the goals and recommendations of the St. Charles Parish Comprehensive Plan and Future Land Use Map. and
2. The proposed map amendment does not negatively impact the health, safety, and welfare of the community.

REZONING GUIDELINE EVALUATION

Before the Commission makes a recommendation or the Council rezones property; there should be reasonable factual proof by the proponent of a change that one or more of the following criteria are met:

1. *The proposed rezoning conforms to land development pattern established by the St. Charles Parish Comprehensive Plan Future Land Use Map and does not create a spot zoning that is incompatible with the surrounding neighborhood.* Plan 2030 recommends *General Commercial* and *Moderate Density Residential* for this site, neither of which provide for industrial uses permitted in the M-1 district. While the request would expand upon an existing M-1 zoning district, and therefore not be considered a spot zone, M-1 zoning does not conform to the Comprehensive Plan. **The request fails the first criteria.**
2. *The Land-use pattern or character has changed to the extent that the existing zoning no longer allows reasonable use of the applicant's property.* The existing zoning near the interstate exchange is C-3. This zoning allows for reasonable use of the property near the highways. The bulk of the site is zoned O-L, which is a holding district meant to allow low-impact uses of large tracts (agriculture and residential uses) “by prohibiting the establishment of scattered business, industrial and other uses that are unrelated to any general plan of development and that might inhibit the best future utilization of the land” (emphasis added). Agriculture and low-density residential may be the only reasonable uses for the property because it is not served by street access or parish utilities.

It is not the zoning that prohibits reasonable use of the property; rather, it is the lack of infrastructure. **The request fails the second criteria.**

3. *Potential uses permitted by the proposed rezoning will not be incompatible with existing neighborhood character nor will they overburden public facilities and infrastructure.* The subject site is adjacent to M-1 zoning developed with a use permitted in the district. Developed residential neighborhoods are located to the south of the subject site, on the opposite side of the railroad right-of-way. Expanding M-1 zoning further towards established residential neighborhoods may result in the permitting of incompatible industrial uses which can emit noise, dust, and odor detrimental to residential uses. **The request fails the third criteria.**

ANALYSIS

The applicant requests a change of zoning from O-L, Open Land and C-3, Highway Commercial to M-1, Light Manufacturing and Industry on 42.29 acres. The site does not meet the transportation system requirement for the M-1 zoning district: “arterial, rail, water”. While the site is bounded by two railroads, these do not provide transportation to the site. The site is not served by an arterial street, or any public street at all.

The request fails all guidelines for rezoning. The request does not further the Comprehensive Plan which recommends commercial and residential uses on the site; the existing C-3 zoning allows for reasonable use a the portion of the property near street access and the OL zoning allows reasonable use of the bulk of the property with no street access or utilities; and M-1 zoning is associated with uses that may negatively impact the surrounding neighborhoods.

The site is not served by streets or infrastructure. This issues must be addressed prior to rezoning.

Because the site is more than three (3) acres, approval requires an amendment to the Future Land Use Map.

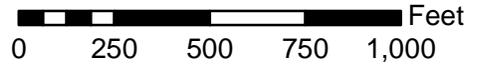
DEPARTMENT RECOMMENDATION

Table until access and infrastructure plans are approved.

2019-5-R

Requested by: Renton Properties, LLC

Rezoning: O-L & C-3 to M-1



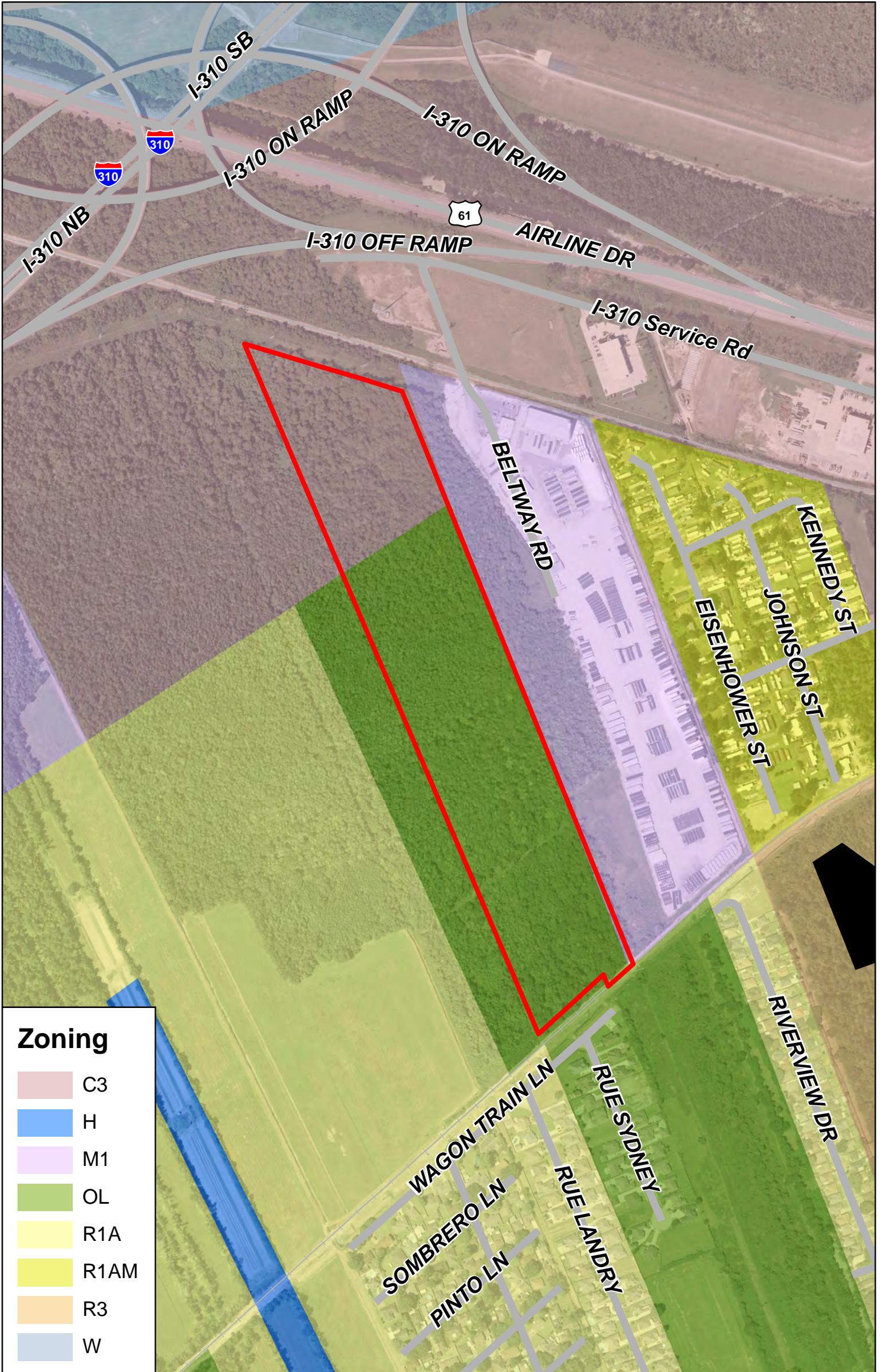
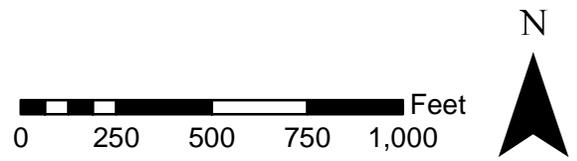
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2019-5-R

Requested by: Renton Properties, LLC

Rezoning: O-L & C-3 to M-1



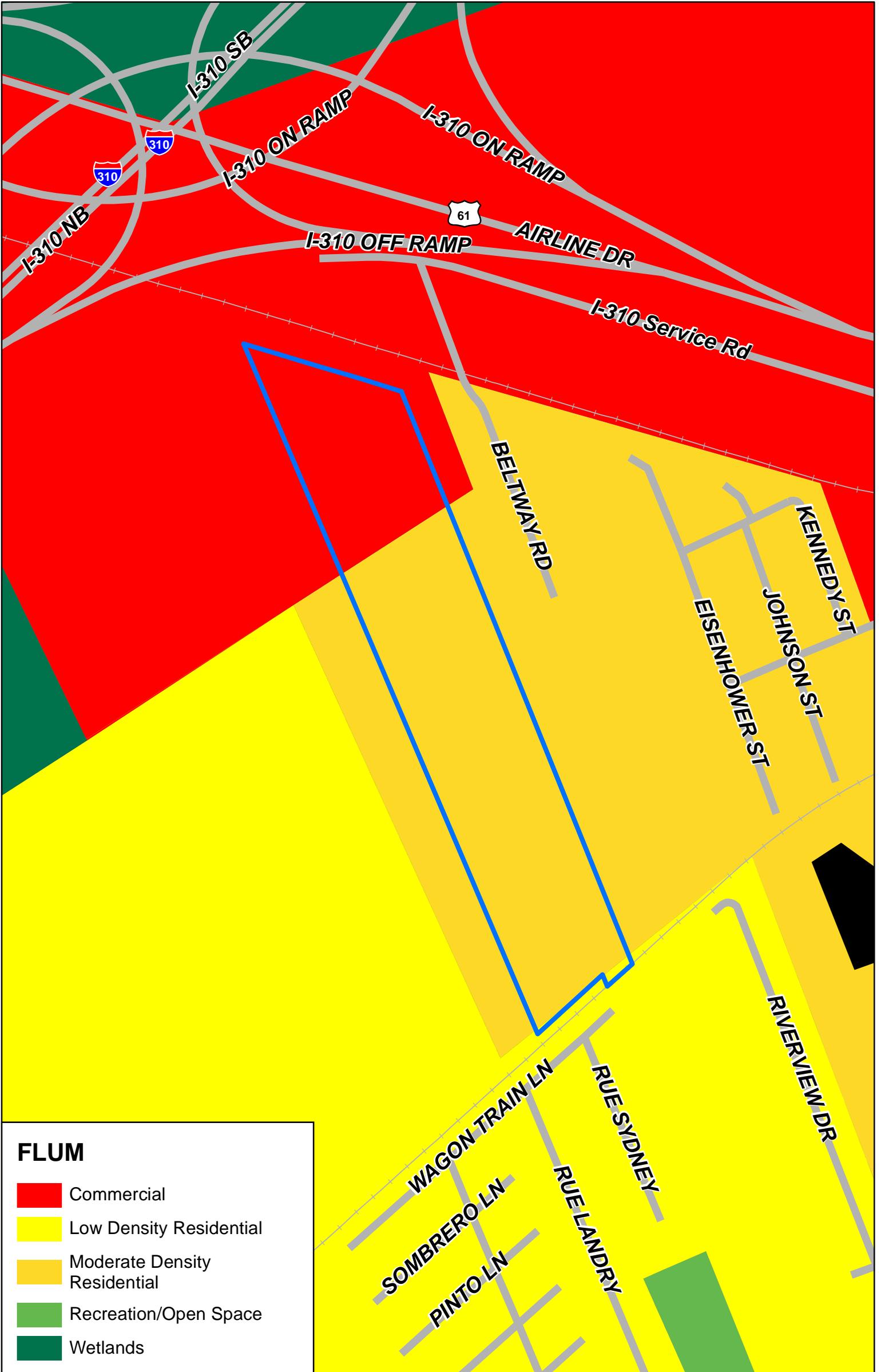
2019-5-R

Requested by: Renton Properties, LLC

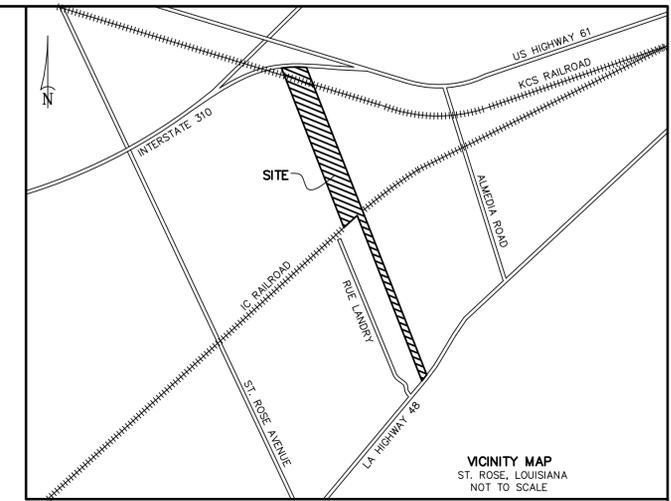
Rezoning: O-L & C-3 to M-1

0 250 500 750 1,000 Feet

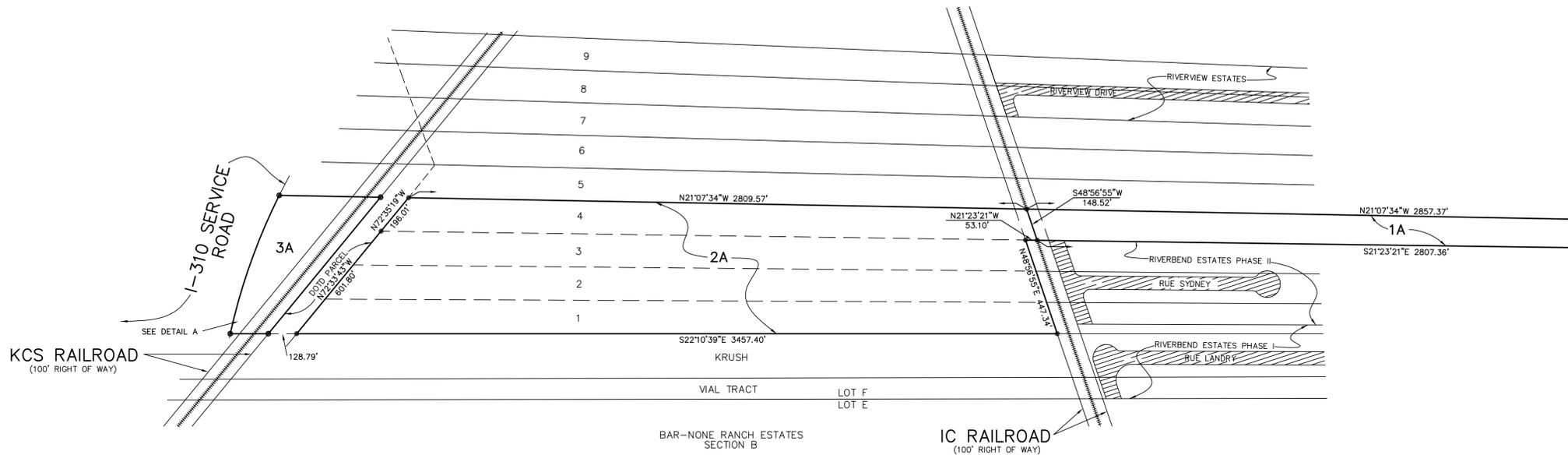
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**SURVEY PLAT AND RESUBDIVISION OF PORTIONS OF TRACTS 1, 2, 3 & 4
OF THE JOHN LAMBERT TRACTS INTO LOTS HEREIN DESIGNATED AS
LOTS 1A, 2A & 3A OF THE JOHN LAMBERT TRACTS
SITUATED IN SECTIONS 41, 43 & 47, T-12-S, R-9-E
ST. ROSE, ST. CHARLES PARISH, LOUISIANA**



OWNERS: TRACTS 1, 2 & 3: JEFFERSON MAGNOLIA L.L.C., 228 ST. CHARLES AVENUE, STE. 1024, NEW ORLEANS, LA 70130
TRACT 4: JOHN T. LAMBERT, P.O. BOX 247, ST. ROSE, LA 70087



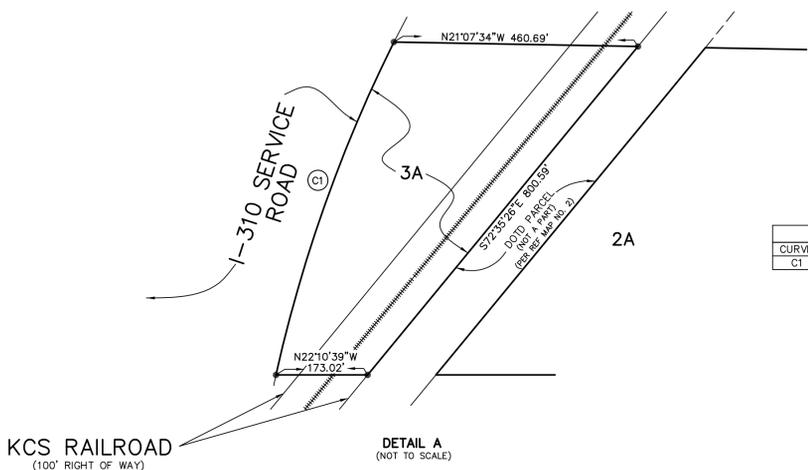
SEE DETAIL B
APPROVED: _____
PARISH PRESIDENT _____ DATE _____
DIRECTOR, PLANNING AND ZONING DEPARTMENT _____ DATE _____

CERTIFICATION: THIS IS TO CERTIFY THAT THIS PLAT IS MADE IN ACCORDANCE WITH LA. REVISED STATUTES 33:5051 ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.

RECORDED IN THE CLERK OF COURT'S OFFICE
ST. CHARLES PARISH ON THE _____
DAY OF _____, IN BOOK _____
FOLIO _____, ENTRY # _____

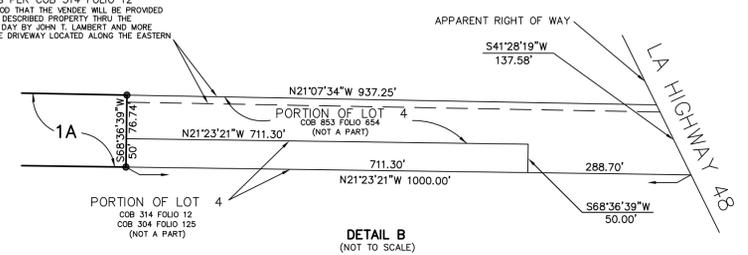
ALL NECESSARY SEWER, WATER AND/OR OTHER UTILITY EXTENSIONS, RELOCATION'S OR MODIFICATIONS SHALL BE MADE BY AND SOLELY AT THE LOT OWNER'S EXPENSE

AREA TABLE	
1A	8.66 ACRES
2A	42.29 ACRES
3A	4.76 ACRES



CURVE TABLE			
CURVE	LENGTH	RADIUS	CHORD
C1	665.50'	2734.79'	S87°24'44"W 663.86'

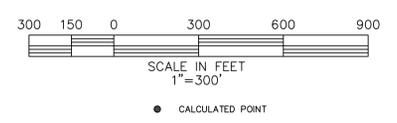
INGRESS AND EGRESS PER COB 314 FOLIO 12
*IT IS AGREED AND UNDERSTOOD THAT THE VENUE WILL BE PROVIDED
INGRESS AND EGRESS TO THE DESCRIBED PROPERTY THRU THE
PROPERTY ACQUIRED ON THIS DAY BY JOHN T. LAMBERT AND MORE
PARTICULARLY BY WAY OF THE DRIVEWAY LOCATED ALONG THE EASTERN
PROPERTY LINE.*



SURVEY REFERENCE: 1. TRACTS 1, 2, 3, 4, 5, 6, 7, 8 & 9 OF THE JOHN LAMBERT TRACT BY H.E. LANDRY, C.E. DATED AUGUST 22, 1946.
2. STATE OF LOUISIANA DEPARTMENT OF HIGHWAYS RIGHT OF WAY MAP STATE PROJECT NO. 450-36-03 LAPLACE - BOULTE HIGHWAY BY LARRY W. CLARK, R.L.S. DATED JUNE 20, 1984.

BASIS OF BEARING: BEARINGS HEREON ARE REFERENCED TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE 1702 NAD 83, GEOID 12A USING LEICA SMARTNET SOLUTION DATED 12/16/2014.

SURVEYOR'S NOTES:
A. THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND DOES NOT COMPLY WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS B SURVEY.
B. NO TITLE OPINION WAS PROVIDED TO THIS FIRM; THEREFORE NO CERTIFICATION IS GIVEN TO THE EXISTENCE OF OTHER SERVITUDES OR EASEMENTS WHICH MAY EXIST OTHER THAN THOSE SHOWN.
C. NO DITCHES, UNDERGROUND LINES OR CONDUITS SHOWN.
D. MINIMUM SETBACK LINES AND SERVITUDES SHOWN ARE BASED ON THE REFERENCED SURVEY PLAT. THE APPROPRIATE PARISH AUTHORITY OR NEIGHBORHOOD REGULATORY BOARD SHOULD BE CONSULTED FOR FINAL DETERMINATION.



THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND, THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

DOTTE 1-800-272-3020

"NOT A GROUND SURVEY"
NOTE: ALL BEARINGS, DISTANCES AND AREAS SUBJECT TO GROUND SURVEY

NO.	DATE	DESCRIPTION	BY
REVISIONS			
DRAWN BY:	KPB	SHEET NO. 1 OF 1	
DATE:	MARCH 29, 2019	DRAWING NO. MM1985_WO3482B	

PRELIMINARY
STEPHEN P. FLYNN
P.L.S. LA. ST. REG. NO. 4668

RIVERLANDS SURVEYING COMPANY
505 HEMLOCK STREET
LAPLACE, LA. 70068
1-800-248-6982
985-652-6356

NOT TO BE USED FOR CONSTRUCTION BIDDING, RECORDATION, CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

000596

PARISH OF EAST BATON ROUGE
STATE OF LOUISIANA

ACT OF PREDIAL SERVITUDE

BE IT KNOWN, that on the day and date hereinafter set forth, before the undersigned Notary Public, in and for the Parish of East Baton Rouge, State of Louisiana, duly commissioned and qualified as such, and in the presence of the undersigned witnesses, personally came and appeared:

STATE OF LOUISIANA, DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT, appearing herein through R. E. DILLON, JR., P.E., Chief Engineer of the Louisiana Department of Transportation and Development, hereinafter referred to as "DOTD",

Who declares that the design and construction of State Project No. 450-36-03, State Route I-310 in St. Charles Parish, Louisiana, at its interchange with US Highway 61 provides for control of access along US Highway 61.

DOTD further declares that the control of access along US Highway 61 necessitated the construction of an access road from Louisiana Highway 50 (Almedia Road) to the front of properties of several owners including John M. Key. As a result of the before mentioned construction project a portion of the property owned by John M. Key was expropriated by DOTD to facilitate the relocation of a power line. Said portion of property is identified as Parcel No. 22-26 on the DOTD's right of way map filed in the proceedings captioned State of Louisiana vs. John M. Key, Number 35,064 (C) 29th Judicial District Court, St. Charles Parish, Louisiana.

187924

DOTD further declares that it does by these presents grant, transfer and deliver unto John M. Key a predial servitude of passage over and across the following described property owned by DOTD:

1. That certain parcel of land lying immediately south and adjacent to the Louisiana and Arkansas Railroad tracks, further identified as Parcel No. 22-26 owned by DOTD and expropriated as part of State Project No. 450-36-03 and fully reflected on right of way sheet 22-C of DOTD'S right of way map prepared by R. P. H. Associates, Inc., Consulting Engineers, New Orleans, Louisiana, and Larry W. Clark, Registered Land Surveyor, dated June 29, 1984.

00059.

DOTD declares that it does hereby and herein create and grant this predial servitude of passage unto JOHN M. KEY, his heirs, successors, and assigns, for the use, benefit, and advantage of immovable property owned by JOHN M. KEY.

THUS DONE AND SIGNED in the Parish of East Baton Rouge, State of Louisiana, on this _____ day of September, 1994, in the presence of the undersigned, competent witnesses, who herunto sign their names with said appearer and me, Notary, after due reading of the whole.

WITNESSES:

James N. Bagin
Gail V. Raleigh

STATE OF LOUISIANA, DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT

BY: R. E. Dillon, Jr.
R. E. DILLON, JR., P.E.
Chief Engineer

James M. Key
NOTARY PUBLIC

FILED FOR RECORD
CLERK OF COURT
ST. CHARLES PARISH
94 SEP -9 AM 11:28
RECEIVED
BOOK 485 PAGE 596
James M. Key
R. E. Dillon



St. Charles Parish
Department of Planning & Zoning

14996 River Rd / P.O. Box 302 • Hahnville, LA 70057
Phone (985) 783-5060 • Fax (985) 783-6447
www.stcharlesparish-la.gov

Permit/Case #: 2019-B-R
Receipt #: 2677015
Application Date: 4/3/19
Zoning District: OL/C-3
FLUM Designation:
Date Posted:

APPLICATION FOR ZONING MAP AMENDMENT
(CHANGE OF ZONING DISTRICT OR REZONING)

Fee: \$40 - \$200

Applicant: Renton Properties, LLC

Home address: 160 W. Airline Hwy, Kenner, LA 70062

Mailing address (if different):

Phone #: 504-464-0431 Email: edrenton@aol.com

Property owner: Renton Properties, LLC

Municipal address of property: See attached survey proposed Lot 5A

Lot, block, subdivision: John Lambert Tract

Change of zoning district from: OL to: M1

Future Land Use designation of the property: Industrial
(A fact sheet on Future Land Use designations is available at the Planning and Zoning Department).

Your written responses below will be forwarded to the Planning and Zoning Commission and Parish Council to help them make a determination on the merits of your request.

Describe how you plan to use the property if the rezoning is granted:

The applicants intended use of the property is to expand the adjoining property usage which is storage of modular office building components. The same tenant, Willscott, is the tenant that will occupy the subject property under consideration for zoning change

What types of activities occur on adjacent properties today? How is your proposed use compatible with the neighborhood?

The activities on the adjacent property is storage of modular office building components. Our proposed use is compatible with the surrounding neighborhood. The other neighborhood businesses includes storage building, major contractor, dump truck operations and a restaurant

Is there something about the property or the surrounding neighborhood that make the rezoning necessary?

The current zoning, open land, does not allow similar uses of the neighborhood. For the intended use, storage of modular office building components, is not allowed in Open Land. The zoning classification for the intended use is M1.

How does your proposed use of the property comply with the Future Land Use designation for the property?

The proposed use of the property requires M1 zoning. The Future Land Use designation for the property is for general commercial, however due to available access, there is no connectivity to residential areas to support general commercial. We find that given the connectivity to the other similar businesses in the adjoining neighborhood, this property is better suited for the expansion of those businesses.

If the property is rezoned, but your project does not develop, explain how other uses allowed in the new zoning district are compatible with the existing neighborhood? A list of allowed uses is available at the Planning and Zoning Department.

If our project does not develop, other similar businesses are better suited to be developed in this area

St. Charles Parish Department of Planning & Zoning

LAND USE REPORT CASE NUMBER: 2019-4-SPU

GENERAL APPLICATION INFORMATION

- ◆ **Name/Address of Applicant** **Application Date: 3/20/19**
Sheldon and Sheri Simoneaux
224 Murray Hill Drive
Destrehan, LA 70047
(504)-377-8220; sheldon.simoneaux@gmail.com
- ◆ **Location of Site**
Lot 15A, Square B, Murray Hill Subdivision; 224 Murray Hill Drive, Destrehan
- ◆ **Requested Action**
854 square foot attached accessory dwelling unit

SITE-SPECIFIC INFORMATION

- ◆ **Size of Parcel(s)**
Lot 15-A consists of 8,754.47 square feet and 75 feet in width (2019-3-ADM).
- ◆ **Current Zoning and Use**
R-1A, Single Family Residential; the property is developed with a site-built single family dwelling.
- ◆ **Surrounding Zoning and Land Uses**
R-1A zoning developed with single-family houses surrounds the site.
- ◆ **Utilities**
Standard utilities serve the site and representatives from the Departments of Public Works & Wastewater and Waterworks indicate that utilities can accommodate the proposed ADU.

APPLICABLE REGULATIONS

[I.] R-1A. Single family residential detached conventional homes —Medium density

1. Use Regulations:
 - c. Special permit uses and structures include the following:
 - (1) Child care centers.
 - (2) Public and private schools (except trade, business, and industrial).
 - (3) Golf courses (but not miniature courses or driving ranges) and country clubs with a site of at least five (5) acres and with all parking at least fifty (50) feet from rear and side property lines.
 - (4) Educational, religious and philanthropic institutions. These buildings must be set back from all yard lines a distance of at least one (1) foot for each foot of building height.
 - (5) Modular, panelized and precut homes, provided that they are placed on a permanent foundation.
 - (6) Reserved.
 - (7) Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
 - (8) Accessory Dwelling Units upon approval by the Planning Commission and supporting resolution of the Council.**
2. Spatial Requirements:
 - c. Accessory buildings:
 - (1) An accessory building may occupy no more than twenty-five (25) percent of the required rear yard.
 - (2) The accessory building shall not exceed two-story construction.
 - (3) Minimum setback of accessory buildings including overhangs, shall be three (3) feet.
 - (4) Nonresidential accessory buildings shall not be permitted

Appendix A. Section VII.

Accessory buildings.

- a. Residential accessory buildings are allowed only in the side and rear yards.
- b. An accessory building may be connected to the principal building via an unenclosed breezeway not exceeding eight (8) feet in width.
- c. Accessory buildings must be three (3) feet from the principal building, measured from any existing overhangs (not including breezeways).
- d. The following shall not be permitted as accessory buildings in residential zones: storage containers, cargo containers, ship to shore containers or any form of a modified delivery type container which is

normally mounted or transferred on a vehicle or is designed for or capable of being mounted on a chassis for movement.

Accessory dwelling units.

- a. Purpose. To offer a wider range of housing options within residential zoning districts.
- b. Design and development standards for all accessory dwelling units (ADU).
 - i. There shall be no more than one (1) ADU permitted per lot.
 - ii. No ADU will be permitted without a primary building.
 - iii. An ADU may consist of part or all of a detached accessory structure or it may consist of a portion of the primary structure.
 - iv. There shall not be more than one (1) bedroom in an ADU.
 - v. An ADU shall use the electrical service of the primary structure.
 - vi. The owner of the property on which the ADU is to be created shall occupy the primary dwelling unit.
 - vii. Setbacks for ADUs developed as part of the principal structure are the same as the underlying zoning district.
 - viii. Setbacks for ADUs developed as detached structures shall meet the setbacks for accessory structures for the underlying zoning district.
 - ix. The floor area of the ADU is limited to fifty (50) percent of the floor area of the primary dwelling unit, not to exceed one thousand two hundred(1,200) square feet.
 - x. ADUs require one (1) off-street parking space in addition to the parking requirements of the underlying zoning district.

Appendix A. Section IV.

A. *Evaluation Criteria* – those uses requiring approval for either a *Special Exception* or a *Special Permit Use* shall be evaluated by the criteria below. These criteria are to be considered illustrative and not restrictive. Other criteria may be considered though not specifically listed below if said criteria affect the general health, safety, and welfare of the public.

1. Compliance with the current St. Charles Parish Comprehensive Plan.
2. Compatibility with existing uses on abutting sites in terms of site development, building design, hours of operation, and transportation features related to safety and convenience of vehicular and pedestrian circulation.
3. Adequacy and convenience of off-street parking and loading facilities and protection of adjacent property from glare of site lighting.
4. Potentially unfavorable impacts on other existing uses on abutting sites to the extent such impacts exceed those impacts expected from a permitted use in the zoning district.
5. Protection of persons and property from erosion, flood or water damage, fire, noise, glare, and similar hazards or impacts.
6. A site development plan shall be required as part of the application process. The following design criteria shall be evaluated on the plan:
 - a. Required yards and open space
 - b. Ingress and egress to property
 - c. Parking and loading areas
 - d. Location of garbage facilities
 - e. Landscaping, buffering, and screening
 - f. Signage
 - g. Height and bulk of structures
 - h. Location and direction of site lighting

SPU & ADU CRITERIA COMPLIANCE
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- ◆ The proposal meets the SPU criteria as follows:

1. *Compliance with the current St. Charles Parish Comprehensive Plan*

The Comprehensive Plan recommends Low Density Residential, up to eight (8) dwelling units per gross acre, or no more than one dwelling unit in 5,445 square feet for this area. The subject site consists of 8,754 square feet. Two dwelling units on the site would allow for 4,477 square feet per family.

Murray Hill Subdivision was platted in two phases in the late 50s with 139 lots at 60-foot wide on a 50-foot wide right of way. The subdivision attenuates as it approaches the Canadian National Railroad. Lots closer to the river are as deep as 170-177 feet and lots closer to the railroad are as shallow as 90-foot deep. Many owners purchased more than one lot. As a result, the neighborhood is built-out with 85 houses at an approximate density of 2.8 dwellings per gross acre. The proposed accessory dwelling unit would not put the area over the recommended density. **Complies**

2. *Compatibility with existing uses on abutting sites in terms of site development, building design, hours of operation, and transportation features related to safety and convenience of vehicular and pedestrian circulation.* The ADU is proposed on the second floor of a new garage connected to the primary structure by a common roof. Large accessory structures, sometimes outfitted with a second floor, is not uncommon in the area. The ADU is proposed within the same buildable area where a standard residential addition would be permitted, and elevation plans show

the new structure is designed to match the appearance of the primary residence.
Complies

3. *Adequacy and convenience of off-street parking and loading facilities and protection of adjacent property from glare of site lighting.* The site plan shows space available in both the garage and driveway to accommodate the required three (3) passenger vehicles. Loading and lighting is not required. **Complies**
 4. *Potentially unfavorable impacts on other existing uses on abutting sites to the extent such impacts exceed those impacts expected from a permitted use in the zoning district.* The R-1A zoning district permits site-built single-family houses and general accessory uses by right, with ADUs requiring special approval. An ADU acts as a site-built residential structure independent from a primary structure and developed in compliance with accessory structure requirements. This ADU is shown on the second floor of a new garage, which is attached to the primary structure by a common roof. Larger accessory structures, sometimes outfitted with a second floor, is not uncommon in the area. The ADU is proposed within the same buildable area where a standard residential addition would be permitted, and should not have any more of an impact than uses otherwise permitted in the district.
Complies
 5. *Protection of persons and property from erosion, flood or water damage, fire, noise, glare, and similar hazards or impacts.* The ADU will be located on the second floor of a new garage. Building code approval requires fire protection. Noise impacts are not expected from this type of development but the noise ordinance will provide for the enforcement of any noise issues that may result. Potential impact to drainage would be no more than that of a standard residential addition as the ADU is proposed within the same allowable buildable area. **Complies**
 6. *A site development plan shall be required as part of the application process. The following design criteria shall be evaluated on the plan:*
 - a. *Required yards and open space.* Due to sharing a common roof, the new accessory structure and ADU is considered attached, and must adhere to standard R-1A setbacks of five (5) feet on the side and twenty (20) feet in the rear. The site plan shows the new structure meets both setbacks to the walls, with encroaching overhangs. Overhangs do not encroach into the setback more than 24 inches. **Complies**
 - b. *Ingress and egress to property.* Ingress and egress shown coming from a single driveway providing access to Murray Hill Drive. The front portion of the driveway is shown as a loose limestone surface. Code requires parking and vehicular circulation area to be dust-free hard surfacing. The applicant has requested a waiver from this requirement as limestone surfacing was chosen in order to avoid damaging to a concrete driveway from a nearby Live Oak, while preventing damage to the tree as a result of pouring concrete. **Does Not Comply**
 - c. *Parking and loading areas.* The plans show the site will consist of a driveway and garage capable of accommodating the required two (2) vehicle spaces for single-family dwellings and one (1) space for the ADU. **Complies**
 - d. *Location of garbage facilities.* **N/A**
 - e. *Landscaping, buffering, and screening.* **N/A**
 - f. *Signage.* **N/A**
 - g. *Height and bulk of structures.* Accessory structures in the R-1A district cannot exceed two-story construction. The new detached accessory structure will consist of two stories, with the ADU located on the second floor. **Complies**
 - h. *Location and direction of site lighting.* **N/A**
- ◆ *Design and development standards for all accessory dwelling units (ADU)*
- i. *There shall be no more than one (1) ADU permitted per lot.* **Complies**
 - ii. *No ADU will be permitted without a primary building.* **Complies**
 - iii. *An ADU may consist of part or all of a detached accessory structure or it may consist of a portion of the primary structure.* The ADU is shown on the second floor of a new garage, which is attached to the primary structure by a common roof. **Complies**
 - iv. *There shall not be more than one (1) bedroom in an ADU.* Floor plan shows ADU consisting of a living room, kitchen, laundry room, bathroom, storage room, bedroom, and two closets. While the floor plan shows an ADU compliant

- with this requirement, it should be noted at 8'4" by 11'6", the room labelled as 'storage' can easily be used as a second bedroom. **Does not comply**
- v. *An ADU shall use the electrical service of the primary structure.* **Complies**
 - vi. *The owner of the property on which the ADU is to be created shall occupy the primary dwelling unit.* Ownership information shows the primary owner/applicant, Sheldon Simoneaux, Jr., is homesteaded at the subject property. **Complies**
 - vii. *Setbacks for ADUs developed as part of the principal structure are the same as the underlying zoning district.* Due to sharing a common roof, the new accessory structure and ADU is considered attached, and must adhere to standard R-1A setbacks of five (5) feet on the side and twenty (20) feet in the rear. The site plan shows the new structure meets both setbacks to the wall, with encroaching overhangs. Overhangs do not encroach into the setback more than 24 inches. **Complies**
 - viii. *Setbacks for ADUs developed as detached structures shall meet the setbacks for accessory structures for the underlying zoning district.* **N/A**
 - ix. *The floor area of the ADU is limited to fifty (50) percent of the floor area of the primary dwelling unit, not to exceed one thousand two hundred (1,200) square feet.* The primary dwelling consists of 1,818 square feet, but will increase to 1,906 square feet with planned renovations. The ADU is shown consisting of 854 square feet, which is less than 50% of the square footage of the primary dwelling both before and after renovation. **Complies**
 - x. *ADUs require one (1) off-street parking space in addition to the parking requirements of the underlying zoning district.* The property is shown with a driveway and garage space capable of accommodating the required two (2) parking spaces for a single-family dwelling and the one (1) additional space for ADUs. **Complies**

ANALYSIS

The applicant requests a Special Permit Use for a 854 square foot Accessory Dwelling Unit (ADU) above a new attached garage at 224 Murray Hill Drive, Destrehan with a waiver from the required hard-surface parking in order to preserve an existing tree. The site plan shows limestone in a brick border for the driveway.

The applicant has been advised that some types of aggregate alter soil conditions and can kill trees. Open pavers may be a better option.

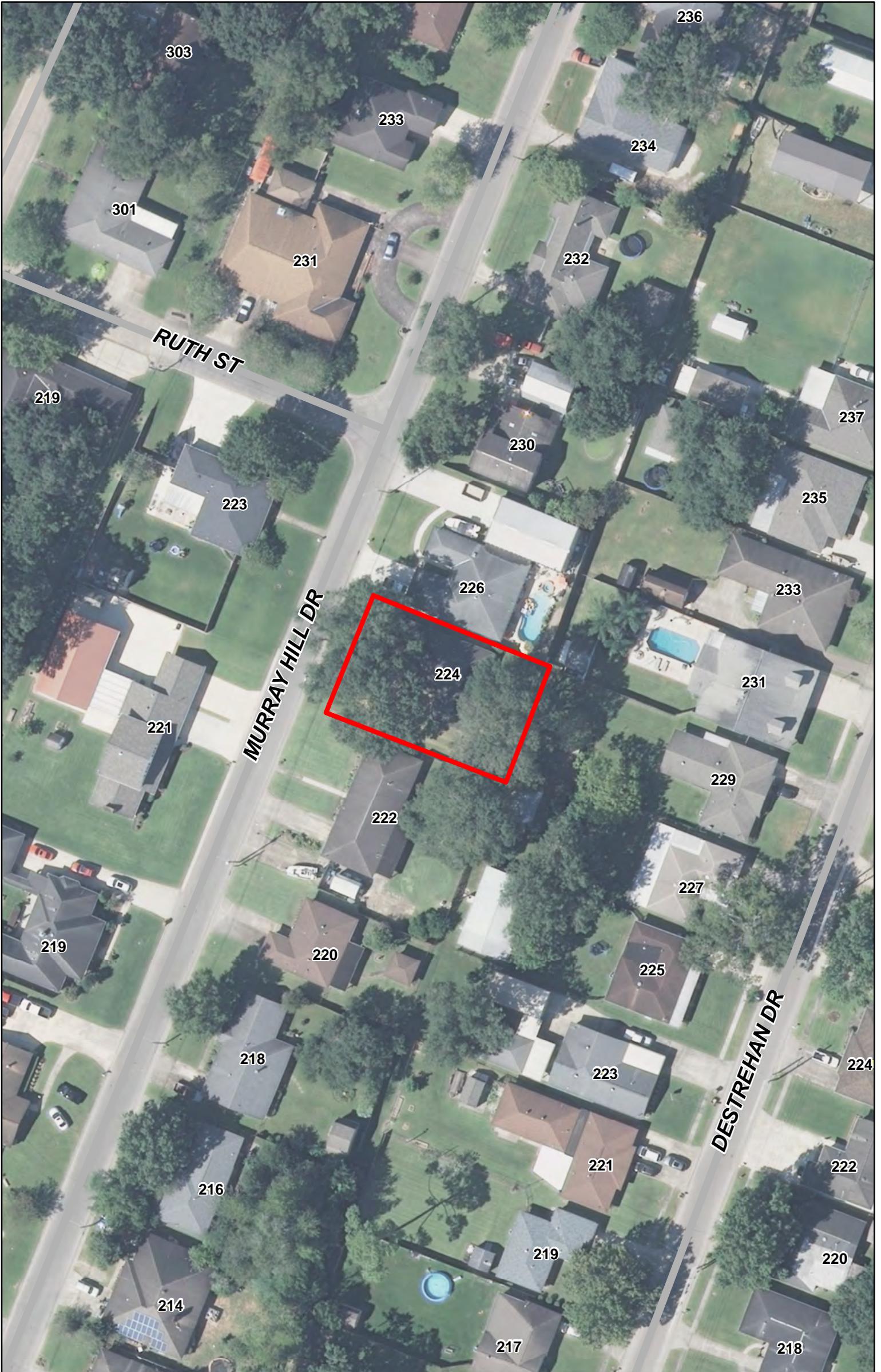
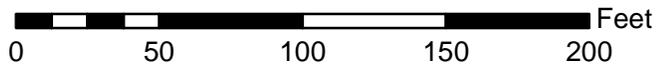
The floor plan shows a living room, kitchen, laundry room, bathroom, bedroom, and a 95 square foot room with a window labelled "STRG". This room is located at the rear of the ADU abutting the 135 square foot room labelled "BEDROOM." It could be converted into a second bedroom. ADUs are limited to one bedroom in order to limit the occupancy to one or two people who share a bedroom. A two-bedroom ADU would not be permitted.

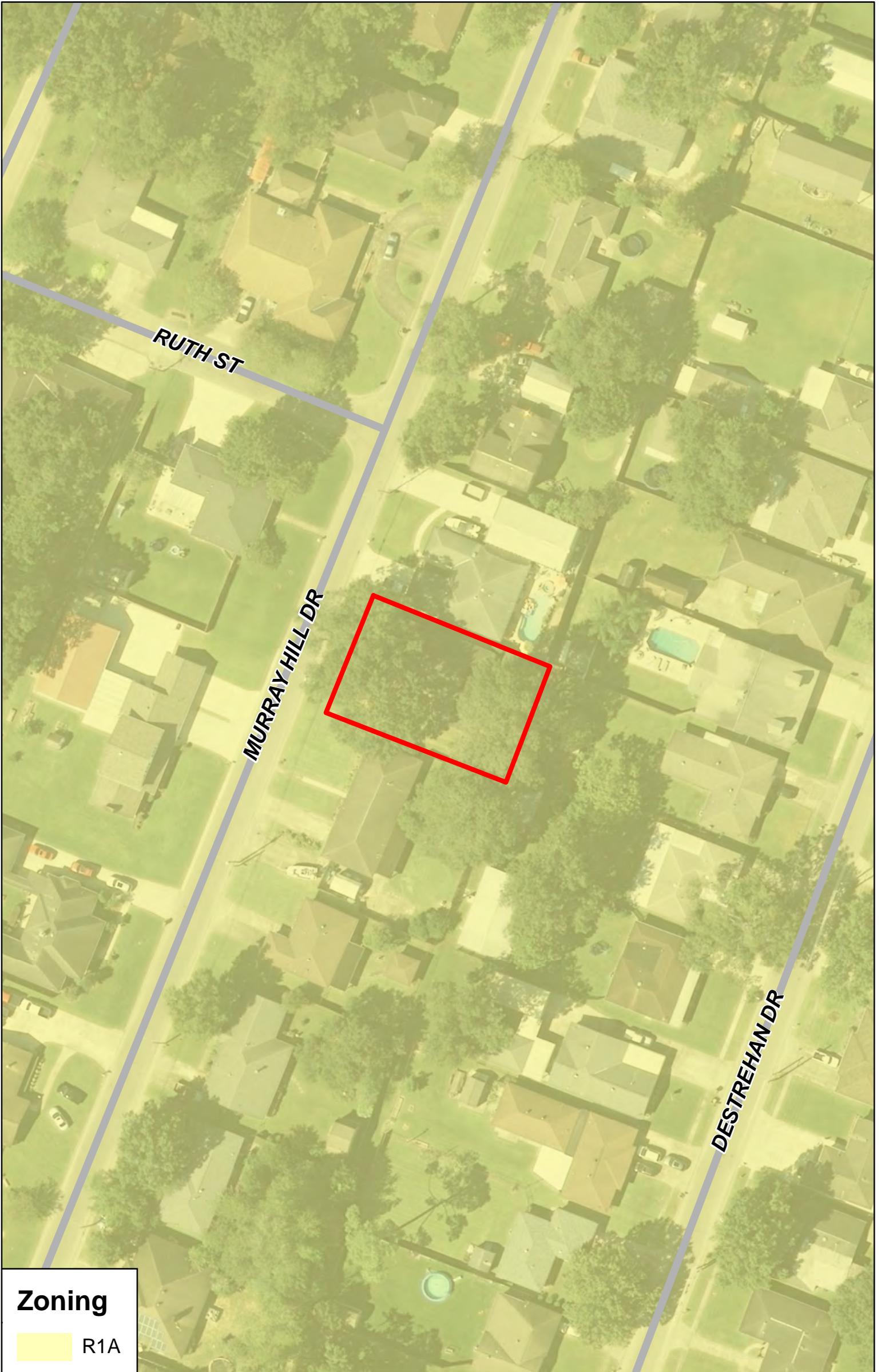
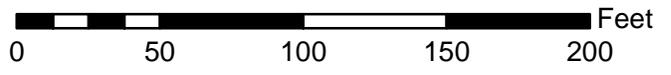
DEPARTMENT RECOMMENDATION

Approval with a waiver from the requirement for dust-free, permanent driveway surface contingent upon

- **A revised floor plan that shows no more than one possible bedroom**

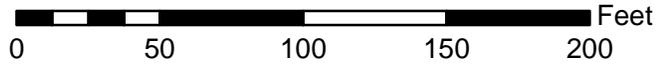
2019-4-SPU
Requested by: Simoneaux
ADU



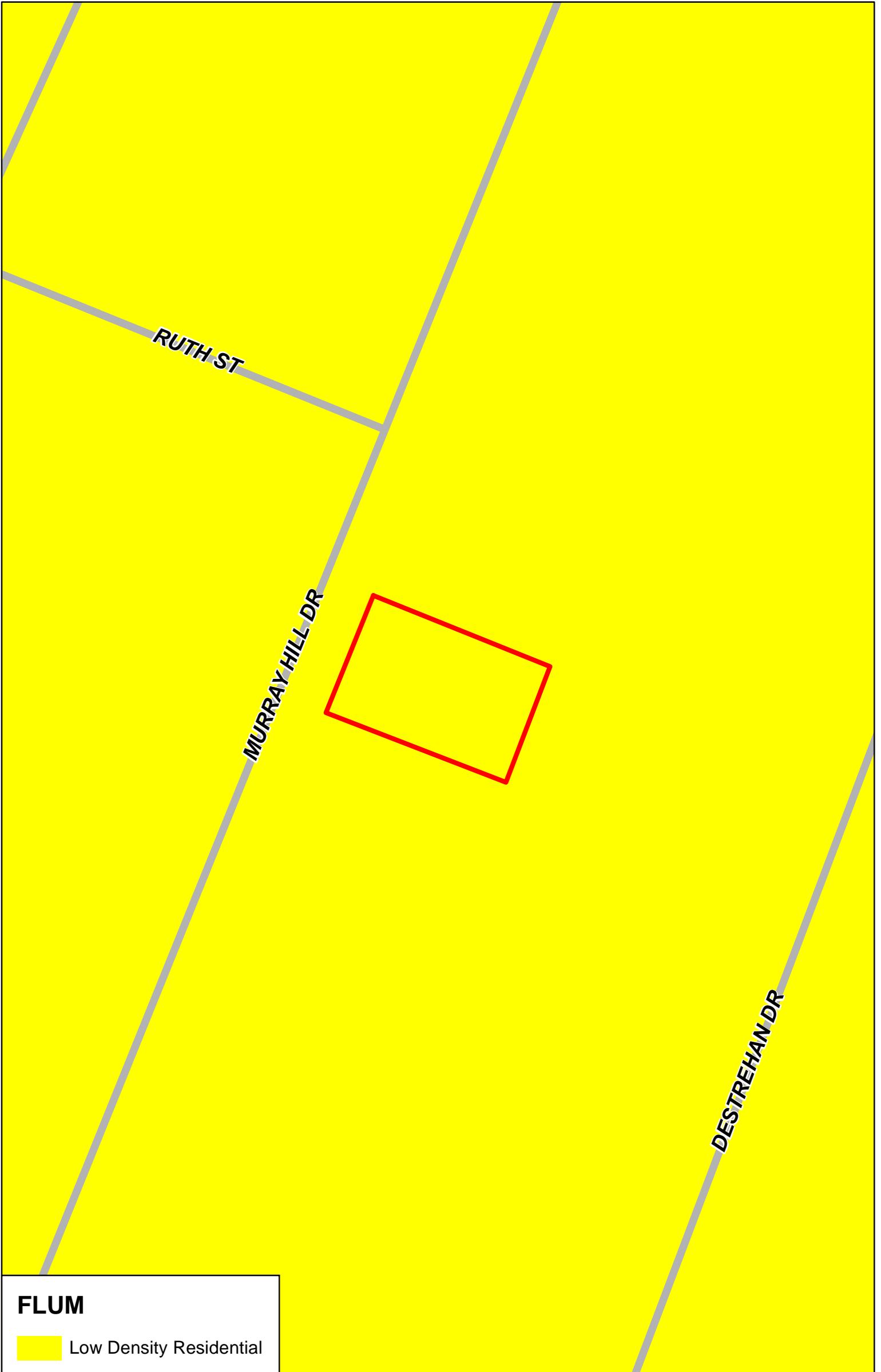


Zoning

 R1A



N



FLUM

 Low Density Residential

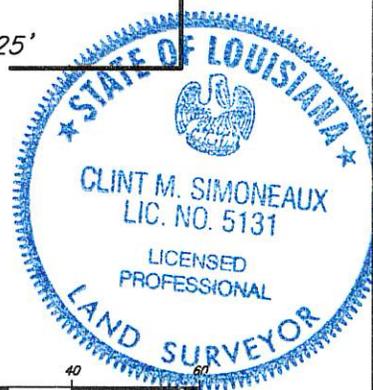
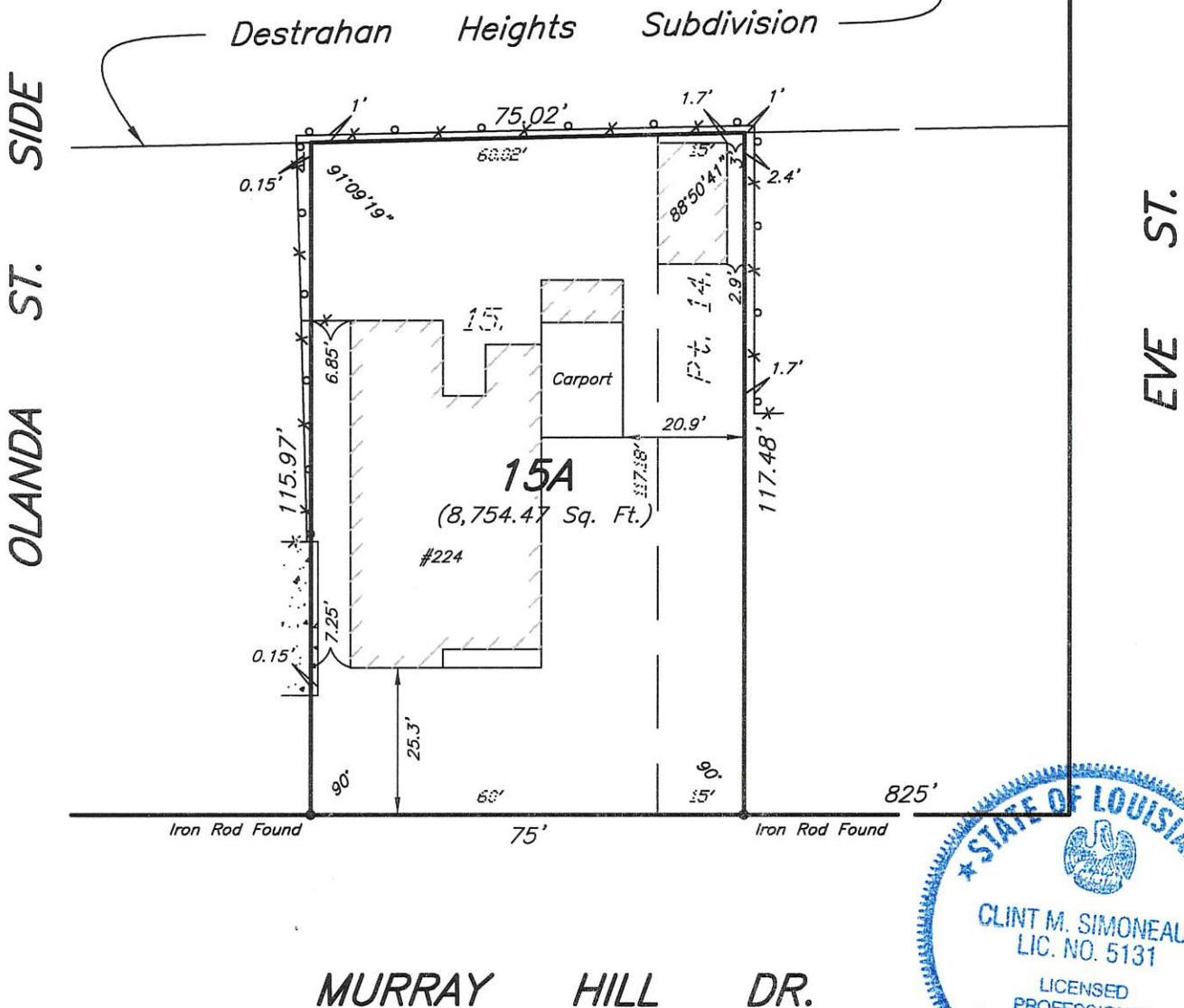
SQ. "B", MURRAY HILL ST. CHARLES PARISH, LA

A Resubdivision of Lot 15 and Pt. Lot 14 into Lot 15A.



ST. CHARLES PARISH APPROVAL	
2-18-19	<i>Michael J. Collins</i>
Date	Planning & Zoning Director
2-20-19	<i>[Signature]</i>
Date	Parish President
Recorded in the Clerk of Court's Office	
St. Charles Parish on the 23 day of	
February 2019, in Book 873	
folio 2021	Entry 438879

Note: All necessary sewer, water and/or other utility extensions, relocations or modifications shall be made solely at the lot owner's expense.



THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE FURNISHED TO US. THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING DATA FOR THIS SURVEY.

Note: Improvements may not be to scale for clarity. The dimensions shown prevail over scale. Lot angles as per plan of sub.

Date: November 5, 2018

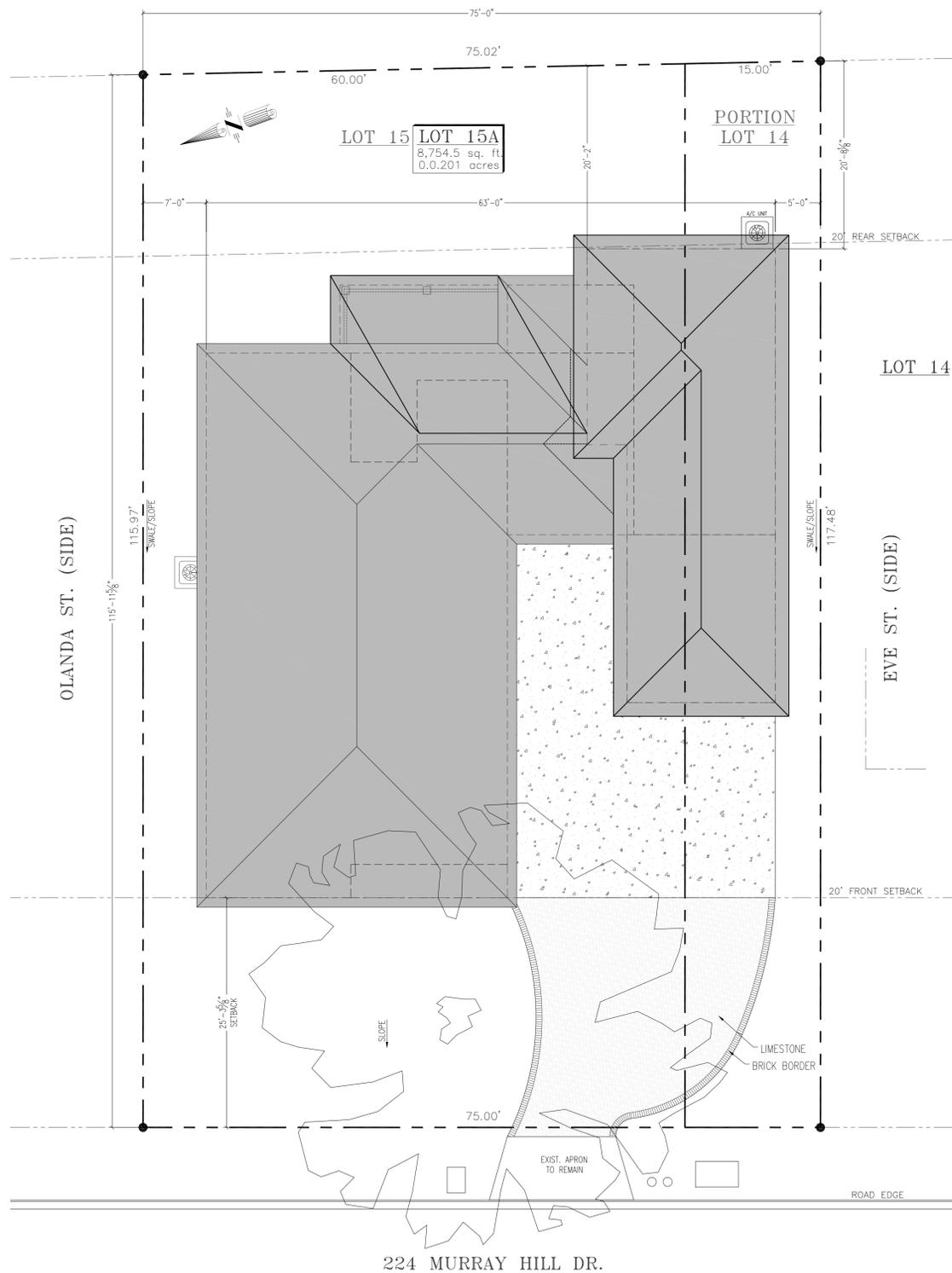
Scale: 1" = 30'

This plat represents an actual ground survey made by me or under my direct supervision and control and meets the requirements for the Standards of Practice for Boundary Surveys as found in Louisiana Administrative Code TITLE 46:LXI, Chapter 29 for a Class "C" survey.

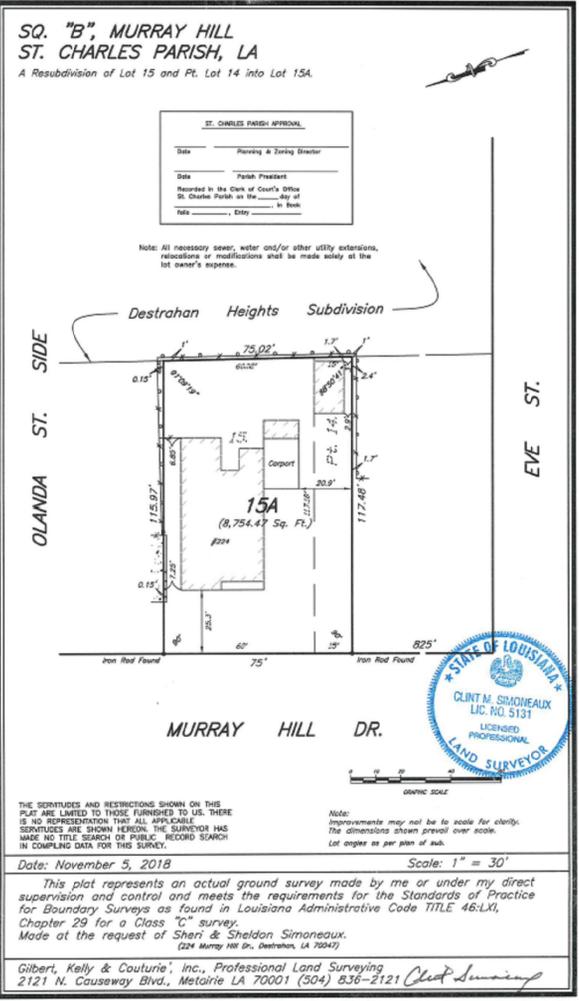
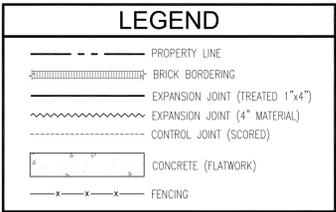
Made at the request of Sheri & Sheldon Simoneaux.
(224 Murray Hill Dr., Destrahan, LA 70047)

Gilbert, Kelly & Couturie, Inc., Professional Land Surveying
2121 N. Causeway Blvd., Metairie LA 70001 (504) 836-2121

Clint Simoneaux



SITE PLAN
1/8" = 1'-0"



SURVEY
N.T.S.

- SITE WORK - GENERAL NOTES**
- SITE PREPARATION BENEATH THE FOUNDATION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT RECOMMENDATIONS AND SHALL MEET THE FOLLOWING MINIMUM RECOMMENDATIONS.
 - STRIP ALL VEGETATION DOWN TO NATURAL SOIL. REMOVE ALL TREES WITHIN CLOSE PROXIMITY TO THE FOUNDATION.
 - PROOF ROLL EXPOSED SUB-GRADE BACK FILL AND COMPACT THE TREE HOLES OF SOFT POCKETS WITH MATERIAL FILL SIMILAR TO SITE MATERIALS.
 - BRING SUB-GRADE TO REQUIRED ELEVATION WITH SELECT FILL MATERIAL - SELECT MATERIAL FILL SHALL BE SANDY CLAY OR CLAYEY-SAND FREE FROM ORGANIC MATERIAL, HAVING A PLASTICITY INDEX OF GRATER THAN 7, BUT NOT MORE THAN 20.
 - STRUCTURAL FILL SHALL BE PLACED IN MAXIMUM LIFTS OF 8" AND COMPACTED TO 95% OF ITS DRY DENSITY AS DETERMINED BY ASTM D698 (STANDARD PROCTOR), WHERE LARGE DEPTHS OF FILL OCCUR, FIELD DENSITY TEST IS REQUIRED FOR EACH LIFT LOCATED AT OR BELOW BOTTOM OF THE FOUNDATION.
 - THE LEVELING BED SHALL BE FIRM, STABLE BANK SAND OR OTHER CLEAN GRANULAR MATERIAL.
 - INITIAL SITE GRADING SHALL BE COMPLETED PRIOR TO SETTING FORMS. FINAL GRADING SHALL BE SLOPED AWAY FROM THE FOUNDATION ONE (1) INCH PER ONE (1) FOOT FOR THE FIRST FIVE (5) FEET SUCH THAT POSITIVE DRAINAGE AWAY FROM THE FOUNDATION IS ASSURED BEFORE, DURING AND AFTER CONSTRUCTION.
 - DURING CONSTRUCTION, A DRAINAGE TRENCH SHALL BE FORMED SUCH THAT ANY WATER THAT INTRUDES INTO THE FOUNDATION MAKE-UP WILL IMMEDIATELY DRAIN OUT OF THE BOTTOM OF THE BEAMS.
 - GRADE LOT NOT TO SLOPE ONTO ADJACENT PROPERTIES; SLOPE LOT TO STREET AND SLOPE GRADE AWAY FROM HOUSE FOR PROPER DRAINAGE BY PROVIDING SWALE SLOPED TOWARDS STREET.
 - CONTRACTOR SHALL COMPLY WITH ALL FILL REQUIREMENTS, INCLUDING PERCENT COMPACTON OF LOCAL AUTHORITIES.
 - FILL TO BE COMPACTED IN 6" LIFTS TO 95% OF ITS STANDARD PROCTOR DENSITY.
 - CONTRACTION JOINTS SHALL BE PLACED TO PRODUCE PANELS THAT ARE SQUARE AND NEVER EXCEED 1.5 TO 1 RATIO LENGTH TO WIDTH.
 - JOINTS SHALL BE PLACED AT DISTANCES 24 TO 30 TIMES THE SLAB THICKNESS.
 - CONTRACTION / CONTROL JOINTS SHALL BE AT A 1/4" DEPTH MINIMUM.

- GENERAL NOTES**
- USE MOST CURRENT ADOPTED CODE REGULATIONS.
 - ENVIRONMENTAL PROVISIONS OF THE BUILDING CODE REQUIREMENTS ARE MINIMUM REQUIREMENTS AND ARE INTENDED TO INSURE LIFE SAFETY AND NOT PREVENT STRUCTURAL DAMAGE.
 - ALL WORK/MATERIALS SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES.
 - REVIEW AND SEAL OF PLANS BY THE ENGINEER IS FOR THE INTENT OF OBTAIN BUILDING PERMIT. ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL APPLICABLE CODES.
 - NOT ALL SPECIFICATIONS ARE EXPRESSLY LISTED ON THE PLANS; THEREFORE, IT IS THE RESPONSIBILITY OF INDIVIDUAL BUILDERS AND/OR CONTRACTORS TO COMPLY WITH APPLICABLE CODES.
 - IN THE EVENT OF ANY DISCREPANCIES BETWEEN THESE NOTES AND THE ARCHITECTURAL DRAWINGS, THESE NOTES GOVERN.
 - PROFESSIONAL ARCHITECTURAL/ENGINEER SERVICES DOES NOT INCLUDE HANDLING THE PERMITTING PROCESS, CONSTRUCTION ADMINISTRATION DURING CONSTRUCTION, SUPERVISION, ATTENDING REGULATORY AGENCY MEETINGS, I.E., ZONING, HISTORIC, AND/OR NEIGHBORHOOD ASSOCIATION, ETC... THESE SERVICES ALONG WITH ANY ADDITIONAL WORK REQUIRED BY THE ARCHITECT/ENGINEER ASSOCIATED WITH A SITE VISIT OR LETTERS TO REGULATORY AGENCIES DUE TO OWNER, BUILDER AND/OR CONTRACTOR CHANGING THE DESIGN INTENT SHALL BE CHARGED BASED ON ARCHITECTS/ENGINEERS HOURLY RATES.
 - REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
 - ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
 - ALL HEADER HEIGHTS TO BE 7'-0" UNLESS NOTED OTHERWISE.
 - ALL EXTERIOR WALLS TO BE 2x4 STUDS UNLESS NOTED OTHERWISE.
 - ALL INTERIOR WALLS TO BE 2x4 STUDS UNLESS NOTED OTHERWISE.
 - INTERIOR WALL ABOVE 12' TALL MUST BE 2x6.
 - A/C UNITS TO BE MOUNTED IN ATTIC SPACE.
 - SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF STRUCTURE; HOWEVER, THIS DOES NOT RELIEVE THE PLUMBER OF LIABILITY IF NOT DONE.
 - UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
 - DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
 - WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
 - ALL ANGLED WALLS TO BE 45° UNLESS NOTED OTHERWISE.
 - FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE UNLESS NOTED OTHERWISE.
 - "CORNERS" AND "T's" SHALL BE TRUE, NOT CALIFORNIA STYLE.
 - ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
 - PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
 - FIRE BLOCKING REQUIRED IN WALLS ABOVE 8'.
 - SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - UNLESS NOTED OTHERWISE, FIREPLACE BOX TO BE SET ON 8" CONCRETE BLOCK WITH A 20" DEEP FLUSH HEARTH THAT EXTENDS AT LEAST 12" BEYOND THE OPENING ON EITHER SIDE AS REQUIRED BY CODE.
 - PROVIDE ATTIC ACCESS IN ATTIC SPACES THAT EXCEED 30 SQ./FT. & HAVE A VERTICAL HEIGHT OF 30 INCHES OR MORE.
 - THIRD PARTY INSPECTION BY OTHERS THAT ARE THE OWNER/CONTRACTOR'S RESPONSIBILITY FOR FRAMING INSPECTION TO MEET WIND LOAD REQUIREMENTS

- FLOOD REQUIREMENTS**
- ANY AND ALL LUMBER MATERIALS INSTALLED BELOW MINIMUM FLOOR ELEVATION SHALL BE PRESSURE TREATED LUMBER.
 - WHERE GARAGE FLOOR ELEVATION IS BELOW MINIMUM FLOOD ELEVATION, FLOOD VENTS SHALL BE INSTALLED. THESE VENTS SHALL COVER THE SPECIFIC AREA ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - OWNER/CONTRACTOR SHALL VERIFY AND COORDINATE WITH REQUIRED BUILDING FINISH FLOOR ELEVATION IN ACCORDANCE WITH REQUIREMENTS OF THE LOCAL, STATE AND FEDERAL (FEMA) AND INSURANCE AGENCY (INSURER) PRIOR TO COMMENCEMENT OF WORK.
 - OWNER/CONTRACTOR SHALL PROVIDE AN ELEVATION CERTIFICATE PREPARED BY A LICENSED LAND SURVEYOR REGISTERED IN THE STATE OF LOUISIANA.
 - REFER TO FEMA REQUIREMENTS FOR BEE FOR RAISED STRUCTURES AND ELEVATION OF PRIMARY STRUCTURAL SUPPORTS.
 - VENTILATION (VENTS) SHALL BE PROVIDED IN ACCORDANCE WITH 2015 IRC R408.1
 - CONSTRUCTION OF NEW RESIDENCE SHALL COMPLY WITH FEMA P-499 HOME BUILDERS GUIDE TO COASTAL CONSTRUCTION, ASCE, 2005 MIN. DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE 7-10; ASCE 2005, STANDARD FOR FLOOD RESISTANT DESIGN AND CONSTRUCTION, ASCE 24-05; FEMA 2010 RECOMMENDED RESIDENTIAL CONSTRUCTION FOR THE GULF COAST, BUILDING ON STRONG AND SAFE FOUNDATIONS; FEMA 550; LSU ACCENTER 1999 WET FLOODPROOFING, REDUCING DAMAGE FROM FLOOD, PUB. 2771; LATEST EDITION FOR EVERY REQUIREMENT; WWW.FEMA.GOV/NEW-CONSTRUCTION; FLOOD RESISTANT PROVISIONS OF THE 2015 INTERNATIONAL CODE, ETC...
 - EXTERIOR CAVITY WALL CONSTRUCTION SHALL BE CONSTRUCTED OF FLOOD-RESISTANT MATERIAL.

PROJECT INFORMATION

OWNER: Sheldon & Sheri Simoneaux, Jr. (504) 377-8220

PROPERTY: SQ "B" LOT 15A
LOCATION: 224 MURRAY HILL DR., DESTREHAN, LA 70047
ST. CHARLES PARISH, LOUISIANA

AREA CALCULATIONS

EXISTING	
LIVING	1,818 SQ. FT.
PORCH	63 SQ. FT.
CARPORIT	280 SQ. FT.
PATIO	118 SQ. FT.
STORAGE	105 SQ. FT.
TOTAL AREA	2,384 SQ. FT.

NEW	
LIVING	2,760 SQ. FT.
PORCH	63 SQ. FT.
CARPORITS	280 SQ. FT.
STORAGE	105 SQ. FT.
PATIO	169 SQ. FT.
GARAGE	818 SQ. FT.
TOTAL AREA	4,195 SQ. FT.

DESIGN CRITERIA

LOUISIANA STATE UNIFORM CONSTRUCTION CODE.
2015 INTERNATIONAL RESIDENTIAL CODE
AMERICAN SOCIETY OF CIVIL ENGINEERS - MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES, ASCE/SEI 7-10; ASCE/SEI 7-05
2015 WOOD FRAME CONSTRUCTION MANUAL
AMERICAN CONCRETE INSTITUTE: ACI 318-11
NATIONAL DESIGN SPECIFICATIONS FOR WOOD
NATIONAL FIRE PROTECTION: NFPA

DESIGN LOADS

ASCE 7-10 3-SEC GUST	WIND LOAD: BASIC WIND SPEED, V=142 MPH
RISK CATEGORY = II	EXPOSURE "B"
ENCLOSED BUILDING	INTERNAL PRESSURE COEFFICIENT, GcPi = ±0.18

- ARCHITECTURAL NOTES:**
- EXTERIOR WALLS LESS THAN THREE FEET FROM PROPERTY LINE WILL BE FIRE RESISTANT RATED 1 HOUR WITH EXPOSURE FROM BOTH SIDES IN ACCORDANCE WITH R302.1 OF THE IRC 2015 EDITION.
 - ENCLOSED AREAS BELOW DESIGN FLOOD ELEVATION WILL MEET THE REQUIREMENTS OF R322.2.2 OF THE IRC 2015 EDITION FOR USE AND FLOOD OPENINGS (GARAGE).
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIRS SURFACES AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP. BOARD AS REQUIRED IN ACCORDANCE WITH SECTION R302.7 OF THE IRC 2015 EDITION.
 - BUILDING MATERIALS USED BELOW DESIGN ELEVATIONS IN ACCORDANCE WITH SECTION R3221.8 OF THE IRC 2015 EDITION.
 - SMOKE DETECTORS WILL BE PROVIDED AS REQUIRED IN ACCORDANCE WITH SECTION R314 OF THE IRC 2015 EDITION.
 - CARBON MONOXIDE DETECTORS WILL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN ACCORDANCE WITH SECTION R315 OF THE IRC 2015 EDITION.
 - WIND BORNE DEBRIS PROTECTION WILL BE PROVIDED FOR IN ACCORDANCE WITH R301.2.1.2 OF THE IRC 2015 EDITION.
 - WINDOWS INSTALLED IN BATHTUB ENCLOSURES, LESS THAN 60 INCHES FROM THE FLOOR, WILL HAVE SAFETY GLAZING IN ACCORDANCE WITH SEC. R308.4 OF THE IRC 2015 EDITION.
 - THE MINIMUM STAIR TREAD DEPTH WILL BE 10" AND THE MAXIMUM RISER HEIGHT WILL BE 7 3/4" IN ACCORDANCE WITH R311.7.4 OF THE IRC 2015 EDITION.
 - PORCHES MORE THAN 30" ABOVE GRADE WILL HAVE GUARDS IN ACCORDANCE WITH R312.1 OF THE IRC 2015 EDITION.
 - EXTERIOR STAIRS OF FOUR OR MORE RISERS WILL HAVE A HANDRAIL IN ACCORDANCE WITH R311.7.8 OF THE IRC 2015 EDITION.
 - ATTIC VENTILATION TO BE PROVIDED IN ACCORDANCE WITH SEC. R806 OF THE IRC 2015 EDITION.
 - ATTIC ACCESS TO BE PROVIDED IN ACCORDANCE WITH SEC. R807 OF THE IRC 2015 EDITION.
 - TERMITE PROTECTION WILL BE PROVIDED IN ACCORDANCE WITH SEC. R318 OF THE IRC 2015 EDITION.
 - GARAGE SHALL BE SEPARATED IN ACCORDANCE WITH SEC. R302.6 OF THE IRC 2015 EDITION.
 - GARAGE FLOOR SURFACE SHALL SLOPE IN ACCORDANCE WITH SEC. R309.1 OF THE IRC 2015 EDITION.
 - WINDOW FALL PROTECTIONS SHALL BE PROVIDED IN ACCORDANCE WITH SEC. R312.2 OF THE IRC 2015 EDITION.

SHEET INDEX

SHEET #	DESCRIPTION
A0.0	SITE PLAN
A1.0	EXIST. FLOOR PLAN SHOWING DEMO
A1.1	PROPOSED FLOOR PLAN
A2.0	ROOF PLAN
A3.0	EXTERIOR ELEVATIONS
E1.0	ELECTRICAL PLAN
S1.0	FRAMING PLAN
S2.0	CONSTRUCTION NOTES
S2.1	CONSTRUCTION DETAILS
S3.0	FOUNDATION PLAN
S3.1	FOUNDATION DETAILS

SHEET IDENTIFICATION

A0.0
SHEET 1 OF 11

RESIDENTIAL RENOVATION/ADDITION PLAN FOR:
Sheldon & Sheri Simoneaux

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES ST. CHARLES PARISH & THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS. AND THAT I AM NOT ADMINISTERING THE WORK.

SSS
Home Design, L.L.C.
Sheldon S. Simoneaux, Jr. (504) 377-8220

PROJECT NO. 1900
DATE: 3/19/2019

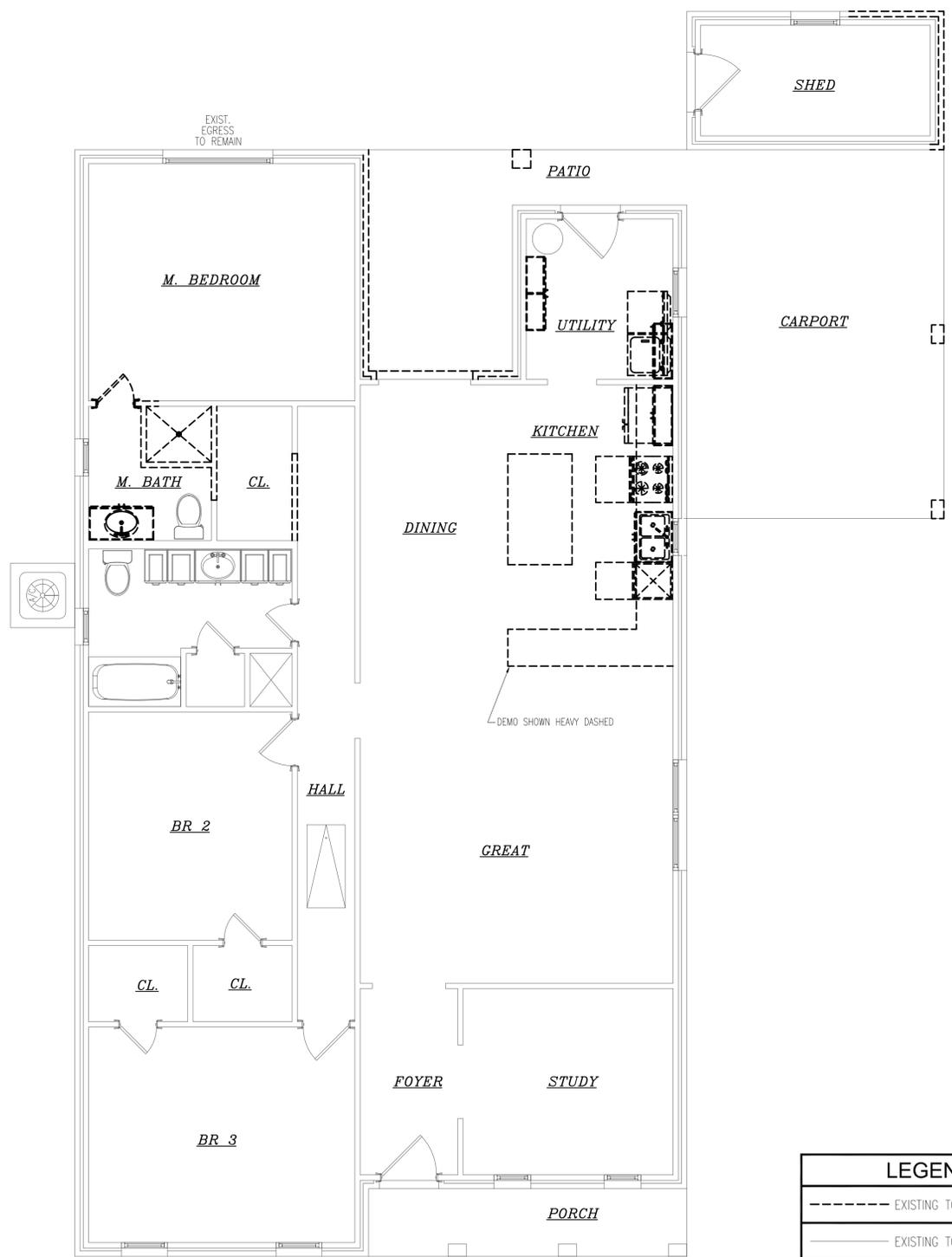
MARK	DESCRIPTION	DATE

SHEET TITLE
SITE PLAN

SHEET IDENTIFICATION

E
D
C
B
A

1 2 3 4 5 6



EXIST. FLOOR PLAN SHOWING DEMO.
1/4" = 1'-0"

LEGEND	
-----	EXISTING TO BE DEMOLISHED
_____	EXISTING TO REMAIN

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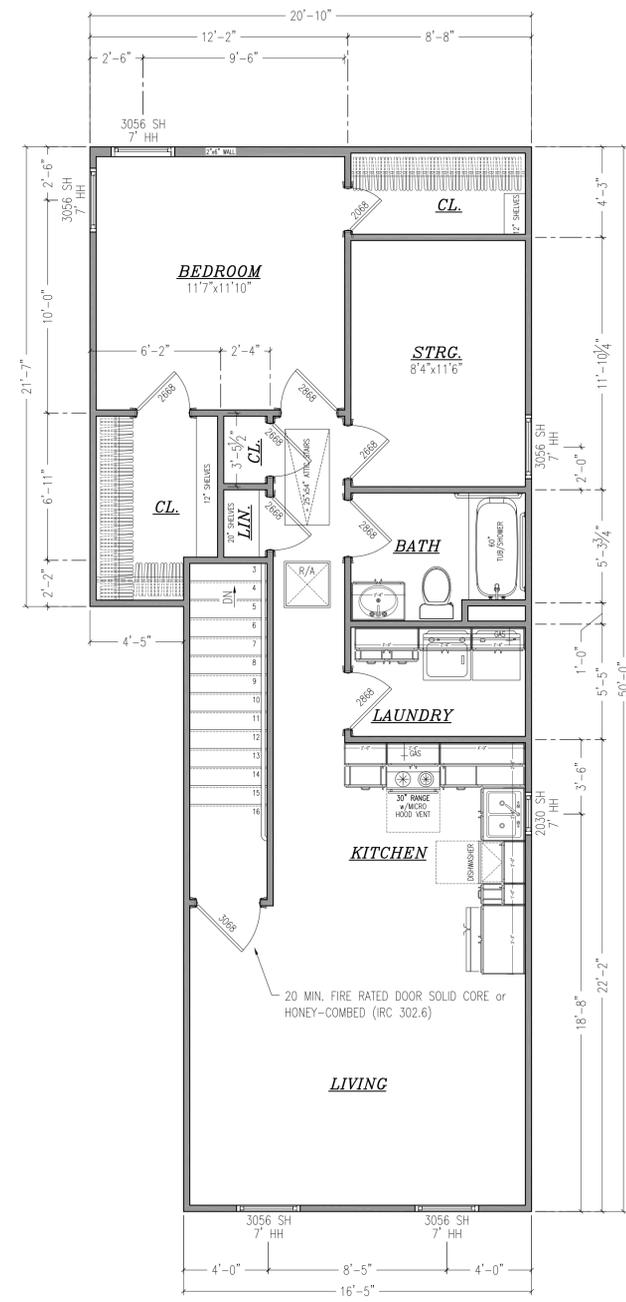
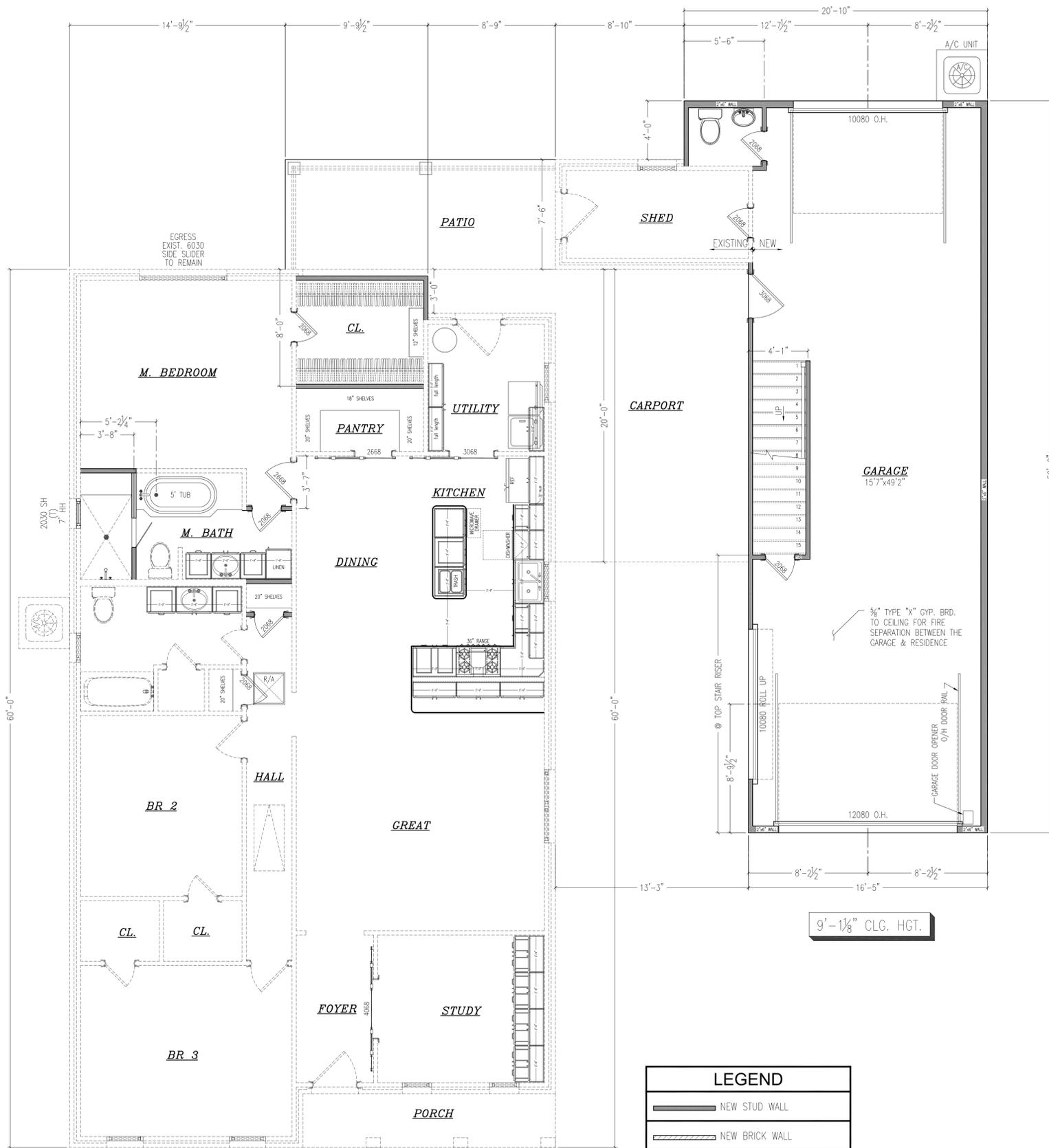
MARK	DESCRIPTION	DATE

SHEET TITLE
EXIST. FLOOR PLAN SHOWING DEMO

SHEET IDENTIFICATION

A1.0
SHEET 2 OF 11

1 2 3 4 5 6



RESIDENTIAL RENOVATION/ADDITION PLAN FOR:

Sheldon & Sheri Simoneaux

SSS Home Design, I. I. c.
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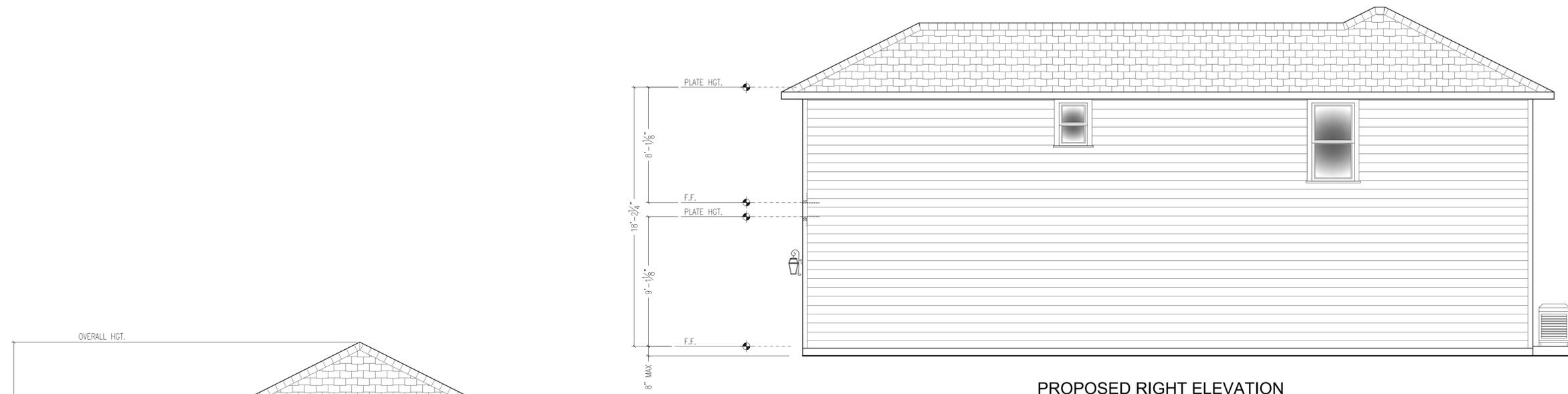
PROJECT NO. 1900		
DATE: 3/19/2019		
MARK	DESCRIPTION	DATE

SHEET TITLE
PROPOSED FLOOR PLAN

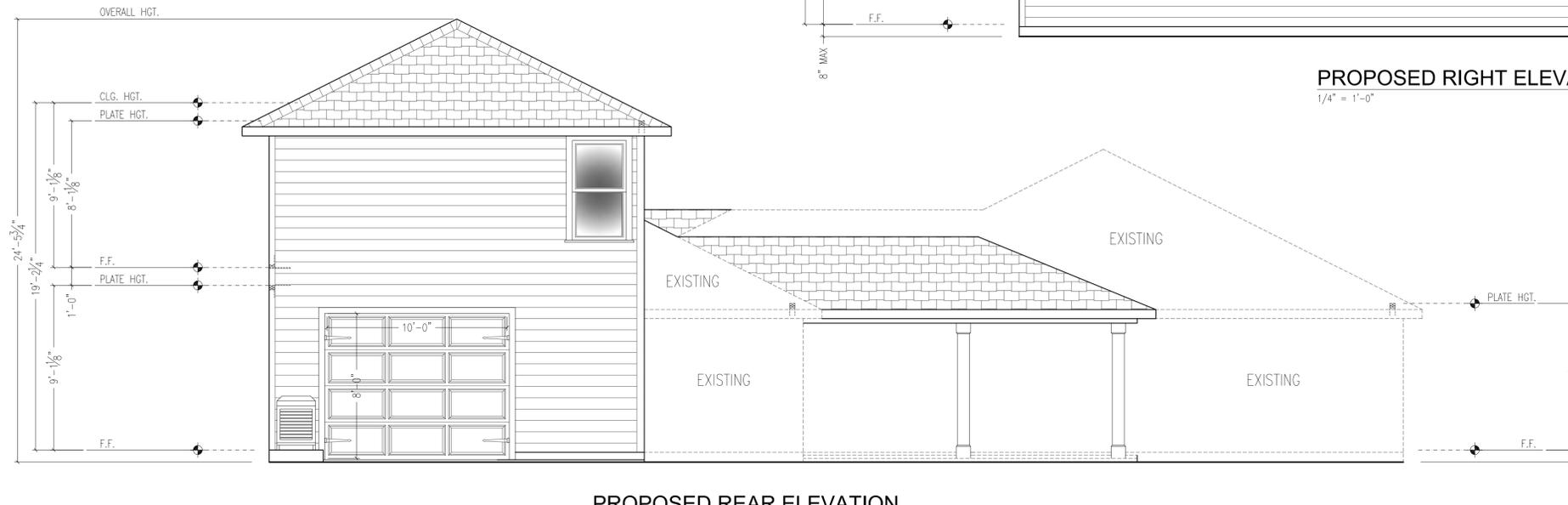
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A1.1

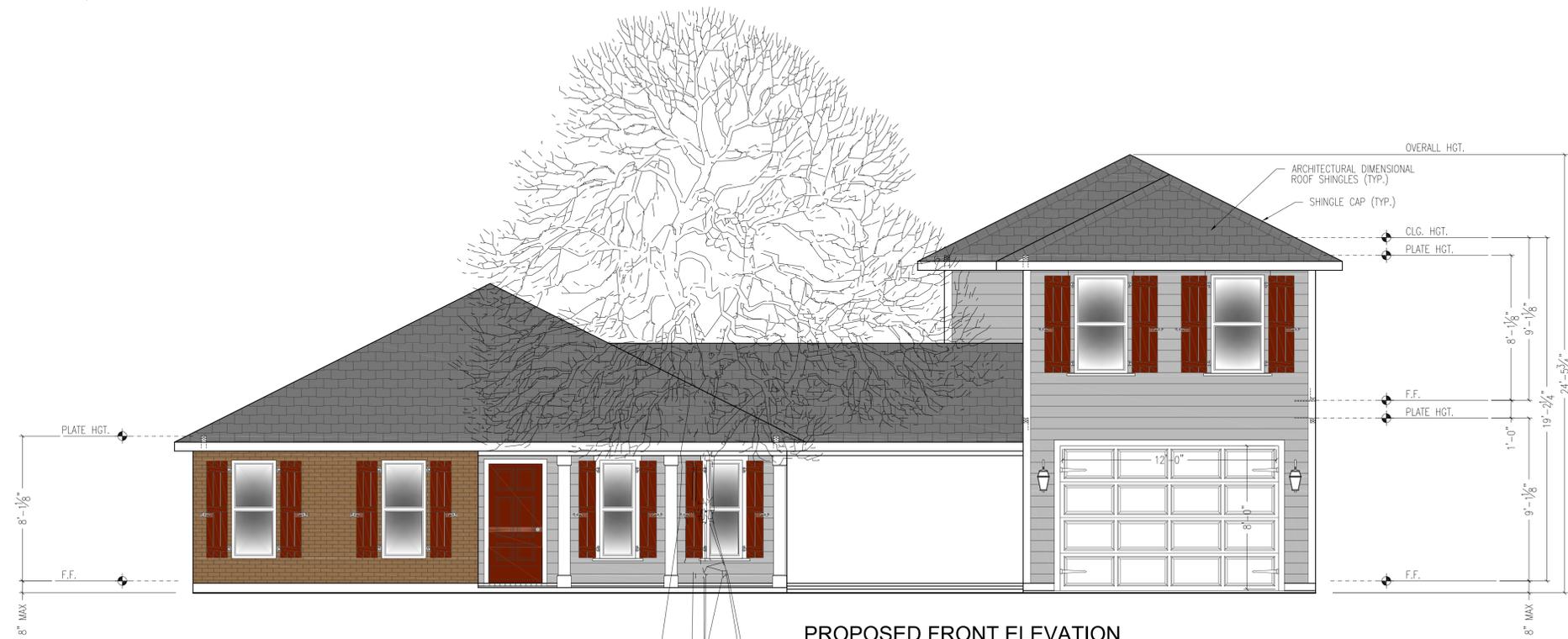
SHEET 3 OF 11



PROPOSED RIGHT ELEVATION
1/4" = 1'-0"



PROPOSED REAR ELEVATION
1/4" = 1'-0"



PROPOSED FRONT ELEVATION
1/4" = 1'-0"

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DATE: 3/19/2019

MARK	DESCRIPTION	DATE

SHEET TITLE
EXTERIOR ELEVATION

SHEET IDENTIFICATION

A3.0
SHEET 5 OF 11

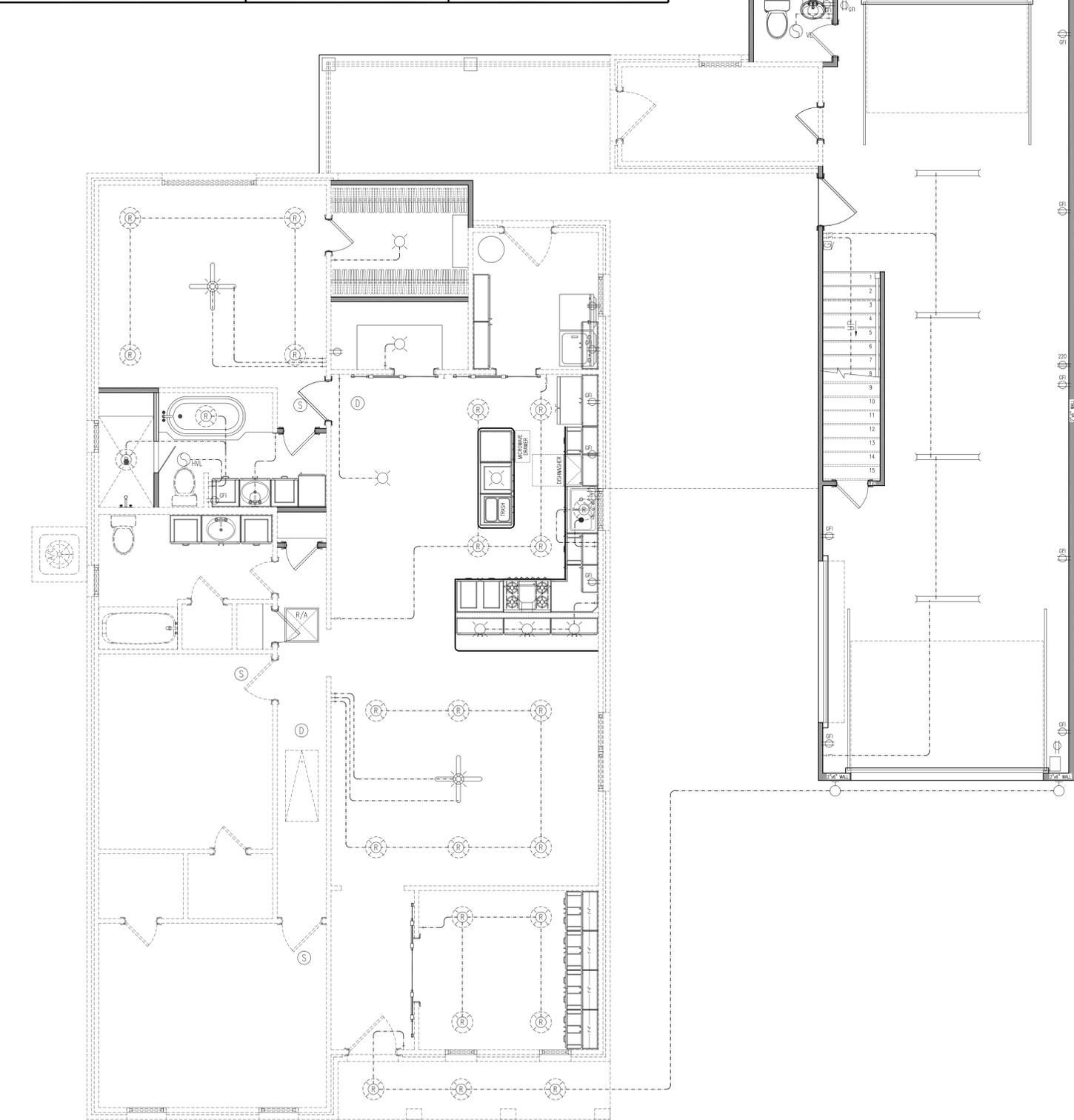
ELECTRICAL - GENERAL NOTES

- ELECTRICAL WORK SHALL COMPLY WITH THE 2015 NFPA 70, NATIONAL ELECTRICAL CODE FOR THE STATE OF LOUISIANA, THE INTERNATIONAL BUILDING CODE, AND ANY LOCAL, STATE AND FEDERAL CODES.
- PROVIDE SERVICE EQUIPMENT, PANELS, CIRCUIT BREAKERS AND FUSES WITH ADEQUATE INTERRUPTING AMP CAPACITY RATING IN ACCORDANCE WITH NFPA 70:110-9.
- SERVICE EQUIPMENT GROUNDING AND BONDING IS TO BE IN ACCORDANCE WITH NFPA 70:230-63; 250-23; AND 250-72.
- THE GROUND NEUTRAL CONDUCTOR SHALL BE RUN TO EACH SERVICE DISCONNECTING MEANS AND SHALL BE BONDED TO EACH SERVICE IN ACCORDANCE WITH NFPA 70:250-23B.
- PROVIDE ELECTRICAL EQUIPMENT GROUND CONDUCTOR IN ACCORDANCE WITH NFPA 70:250-91B AND NFPA 70:250-95.
- NO CONDUCTOR SHALL BE USED IN SUCH A MANNER THAT ITS OPERATING TEMPERATURE WILL EXCEED THAT DESIGNATION FOR THE TYPE OF INSULATED CONDUCTOR INVOLVED IN ACCORDANCE WITH NFPA 70:310-10.
- INTERIOR METAL WATER PIPING SYSTEMS AND EXPOSED STRUCTURAL STEEL THAT IS LIKELY TO BECOME ENERGIZED SHALL BE BONDED TO THE SERVICE EQUIPMENT ENCLOSURE IN ACCORDANCE WITH NFPA 70:250-80.
- ALL ELECTRICAL OUTLETS LOCATED WITHIN SIX FEET OF ANY WATER HOLDING CONTAINERS MUST HAVE GROUND FAULT CIRCUIT INTERRUPT PROTECTION.
- INSTALL SYSTEM BURGLAR AND FIRE ALARM SYSTEM THROUGHOUT THE ENTIRE RESIDENCE, INCLUDING THE GARAGE. LOCATE DETECTORS AS SHOWN ON THE PLANS. COORDINATE LOCATION OF THE CONTROL PANELS WITH THE OWNER.
- ANY CEILING OUTLET BOX INSTALLED FOR USE AS A LIGHTING FIXTURE OUTLET IN A HABITABLE ROOM OR KITCHEN AND LOCATED WHERE A CEILING FAN COULD BE INSTALLED SHALL BE A TYPE LISTED FOR CEILING FAN SUPPORT. THE WALL SWITCH TO THE LIGHTING FIXTURE SHALL BE INSTALLED.
- THE LISTED ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) DEVICES INSTALL PER NEC 210.12 SHALL BE OF THE COMBINATION TYPE. ALL AFCI'S SHALL BE OF THE BREAKER STYLE.
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE A COMPLETE AS-BUILT DRAWING OF THE INSTALLED ELECTRICAL DISTRIBUTION.
- ALL CABLES SHALL BE INSTALLED PER MANUFACTURE'S INSTRUCTIONS.
- CONTRACTOR/BUILDER SHALL COORDINATE LOCATION OF ALL APPLIANCES, SWITCHES, OUTLETS, THERMOSTATS, CIRCUIT BREAKER BOX, TELEPHONE, CATV, CAT5/CAT6, ETC... WITH OWNER. A MINIMUM OF TWO (2) JACKS PER ROOM.
- CONTRACTOR SHALL INSTALL SMOKE DETECTION AND NOTIFICATION SYSTEMS IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE SECTION 314.
- ALL SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 INTERNATIONAL RESIDENTIAL CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72.
- THE SMOKE DETECTION AND NOTIFICATION SYSTEM SHALL BE MONITORED BY AN APPROVED SUPERVISING STATION AND BE MAINTAINED BY THE OWNER IN ACCORDANCE WITH NFPA 72.
- SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS, HABITABLE ATTICS AND DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS.
- A SMOKE DETECTION SYSTEM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
- THE SMOKE DETECTION AND NOTIFICATION SYSTEM SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE, AND WHEN PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
- TO TV, CB OR HAM RADIO ANTENNAS SHALL BE INSTALLED.
- NO SATELLITE DISHES OVER 24" ALLOWED. NO SATELLITE DISHES CAN BE VISIBLE FROM STREET.
- NO OBTRUSIVE LIGHTING, NO MERCURY VAPOR LIGHTING SHALL BE INSTALLED.
- ALL UTILITY LINES SHALL BE INSTALLED UNDERGROUND.

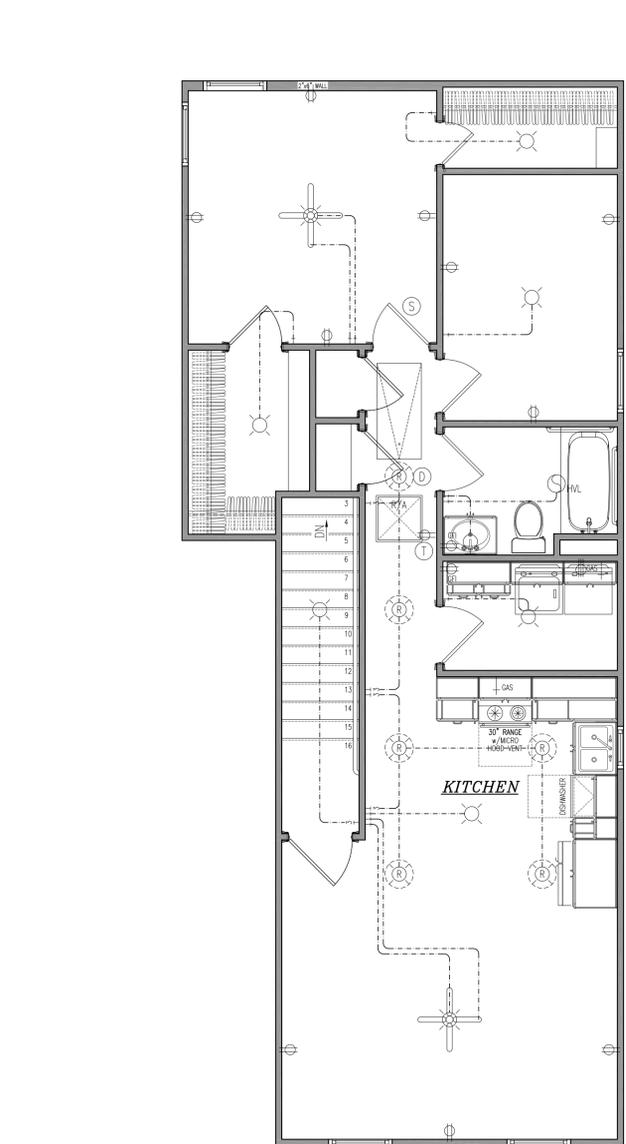
ELECTRICAL - LEGEND

- SINGLE-POLE SWITCH, 48" AFF
- THREE-WAY SWITCH, 48" AFF
- FOUR-WAY SWITCH, 48" AFF
- DUPLEX RECEPTACLE, 18" AFF, UON
- GROUND FAULT INTERRUPTER, 18" AFF, UON
- WEATHERPROOF GFI RECEPTACLE, 18" AFF, UON
- FLOOR RECEPTICAL
- 220 VOLT RECEPTACLE, 18" AFF, UON
- TELEPHONE OUTLET
- USB DATA OUTLET
- TV OUTLET
- DISCONNECT SWITCH
- DOOR BELL BUTTON
- DOOR BELL CHIME
- GARAGE DOOR BUTTON
- GARAGE DOOR OPENER
- GARBAGE DISPOSAL
- EXHAUST FAN, VENT TO EXTERIOR
- HEATER, VENT, VENT TO EXTERIOR
- VENT, LIGHT, VENT TO EXTERIOR
- HEATER, VENT, LIGHT, VENT TO EXTERIOR

- FLOOD LIGHT
- CEILING FIXTURE
- CEILING FIXTURE - KEYLESS
- PHOTO-ELECTRIC CELL
- WALL BRACKET LIGHT
- RECESSED LIGHT FIXTURE
- OCTAGON BOX w/BLANK PLATE
- PROGRAMMABLE THERMOSTAT
- SMOKE/CARBON MONOXIDE COMBO DETECTOR
- SMOKE ALARM
- CARBON MONOXIDE DETECTOR
- HEAT DETECTOR
- SPLIT CIRCUIT RECEPTACLE FLOOR MOUNT
- FLUORESCENT FIXTURE
- ELECTRICAL PANEL
- ALARM CONTROL PANEL
- LOW VOLTAGE PANEL
- IRRIGATION CONTROL PANEL
- LIGHTED CEILING FAN PACKAGE
- CEILING FAN
- CEILING LIGHT w/FAN ROUGH IN
- AFF WP MP PC UON
- ABOVE FINISHED FLOOR WEATHER PROOF BOX & COVER
- MOISTURE PROOF FIXTURE
- PHOTO CELL CONTROL
- HOSE BIBB
- GAS BIBB
- TRANSFER SWITCH
- ELECTRIC METER
- GAS METER



ELECTRICAL PLAN - FIRST FLOOR
1/4" = 1'-0"



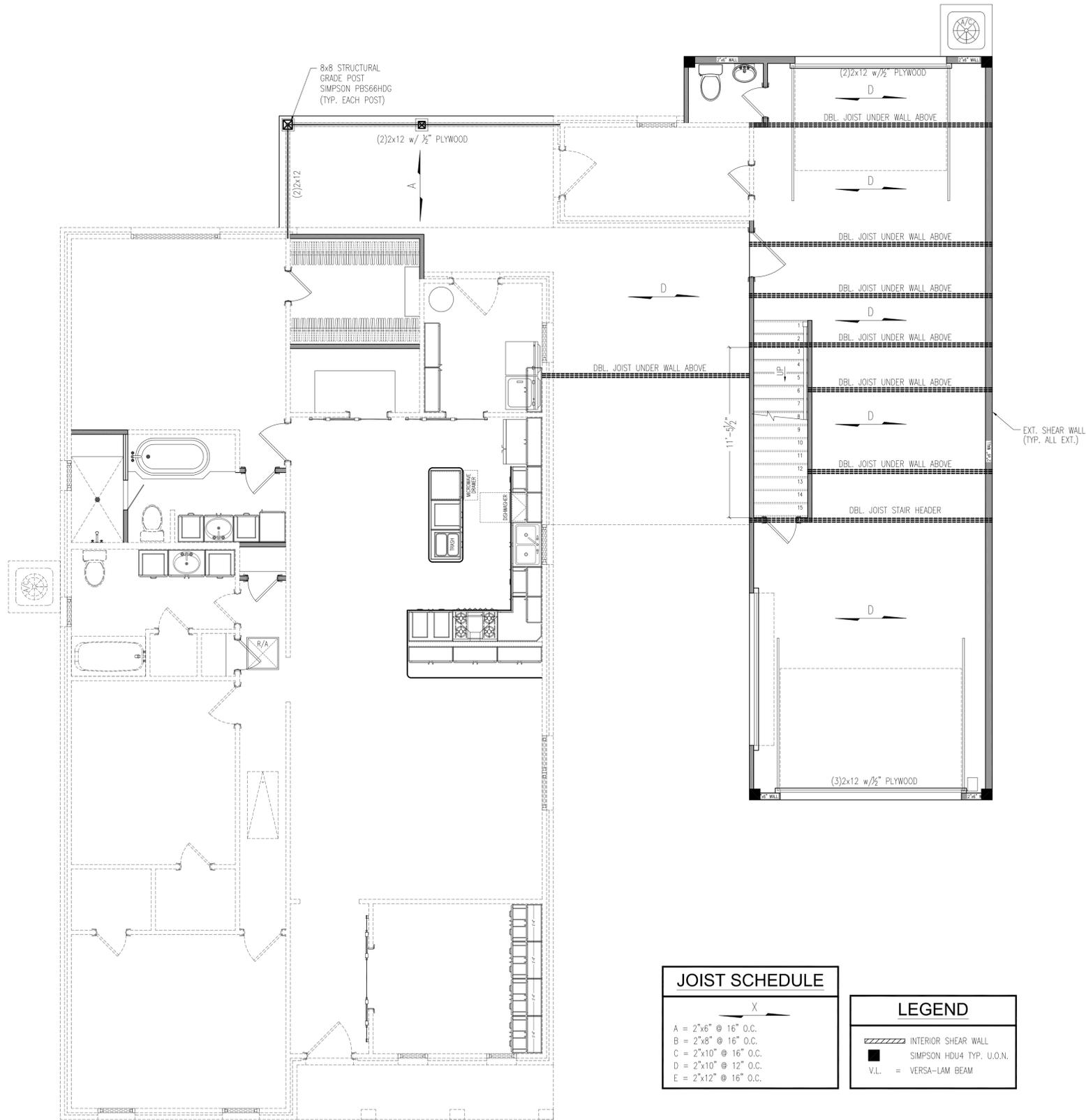
ELECTRICAL PLAN - PROPOSED SECOND FLOOR
1/4" = 1'-0"

RESIDENTIAL RENOVATION/ADDITION PLAN FOR:
Sheldon & Sheri Simoneaux

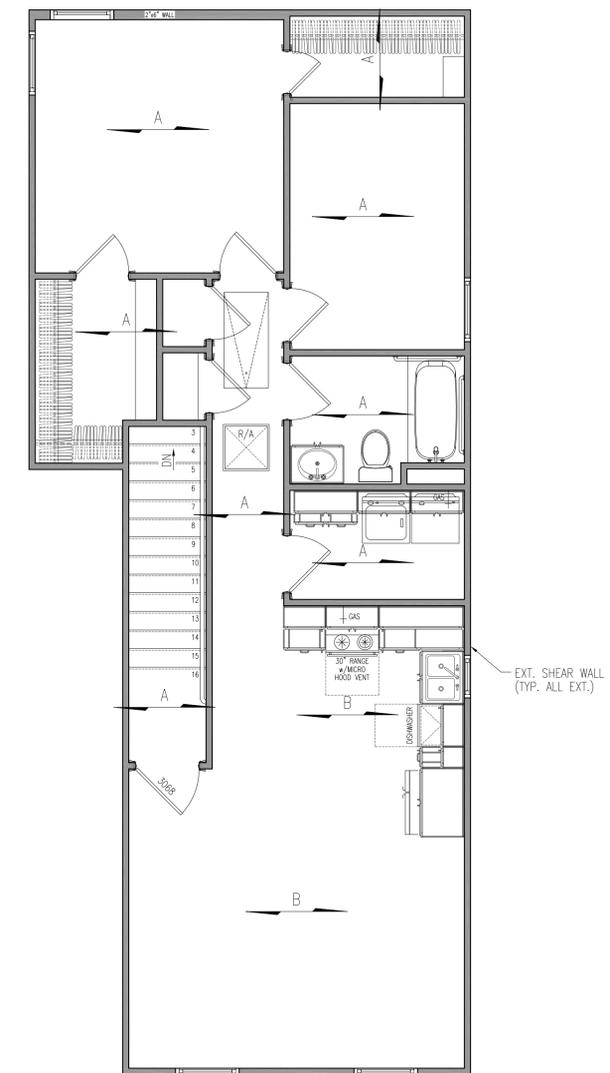
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SSS
Home Design, I. I. C.
Sheldon S. Simoneaux, Jr. (504) 377-9220

PROJECT NO. 1900		
DATE: 3/19/2019		
MARK	DESCRIPTION	DATE
SHEET TITLE		
ELECTRICAL PLAN		
SHEET IDENTIFICATION		
E1.0		
SHEET 6 OF 11		



FRAMING PLAN - SECOND FLOOR
1/4" = 1'-0"



FRAMING PLAN - ATTIC
1/4" = 1'-0"

JOIST SCHEDULE	
A	2"x6" @ 16" O.C.
B	2"x8" @ 16" O.C.
C	2"x10" @ 16" O.C.
D	2"x10" @ 12" O.C.
E	2"x12" @ 16" O.C.

LEGEND	
	INTERIOR SHEAR WALL
	SIMPSON HDU4 TYP. U.O.N.
	VERSA-LAM BEAM

RESIDENTIAL RENOVATION/ADDITION PLAN FOR:
Sheldon & Sheri Simoneaux

SSS
Home Design, I. I. e.
Sheldon S. Simoneaux, Jr. (504) 377-8228

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES ST. CHARLES PARISH & THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS, AND THAT I AM NOT ADMINISTERING THE WORK.

PROJECT NO.	1900	
DATE	3/19/2019	
MARK	DESCRIPTION	DATE
SHEET TITLE		
FRAMING PLAN - SECOND FLOOR & ATTIC		
SHEET IDENTIFICATION		
S1.0		
SHEET 7 OF 11		

E

D

C

B

A

1 STAIR CONSTRUCTION - GENERAL NOTES

1. CONTRACTOR SHALL CONSTRUCT STAIRS IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE SECTION R311 & R312. REFER TO 2015 IRC FOR EXCEPTIONS.
A. STARWAYS SHALL NOT BE LESS THAN THIRTY SIX (36) INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERIMETER HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. HANDRAILS SHALL NOT PROJECT MORE THAN 4 1/2" ON EITHER SIDE OF THE STAIRWAY AND THE MINIMUM CLEAR WIDTH OF STAIRWAY AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL NOT BE LESS THAN 3 1/2" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES.
B. THE MINIMUM HEADROOM IN ALL PARTS OF THE STAIRWAY SHALL NOT BE LESS THAN 6 FEET 8 INCHES MEASURED VERTICALLY FROM THE SLOPED LINE ADJOIN THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
C. A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE LARGER THAN 12 FEET BETWEEN FLOOR LEVELS OR LANDINGS.
D. THE WALKLINE ACROSS WINDER TREADS SHALL BE CONCENTRIC TO THE CURVED DIRECTION OF TRAVEL THROUGH THE TURN AND LOCATED 12 INCHES FROM THE SIDE WHERE THE WINDERS ARE NARROWER. THE 12-INCH DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE OF THE WINDER. IF WINDERS ARE ADJACENT WITHIN THE FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED.
E. THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE NOSING OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED PROVIDED THAT THE OPENING BETWEEN TREADS DOES NOT PERMIT PASSAGE OF A 4-INCH DIAMETER SPHERE.
F. THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".
G. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 10 INCHES MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AT THE INTERSECTIONS WITH THE WALKLINE. WINDER TREADS SHALL HAVE A MINIMUM TREAD DEPTH OF 6 INCHES AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8". CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITH THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND DO NOT HAVE TO BE WITHIN 3/8" OF THE RECTANGULAR TREAD DEPTH.
H. THE RADIUS CURVATURE AT THE NOSING SHALL BE NO GREATER THAN 3/8". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/2" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST NOSING PROJECTION BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE LEVEL OF FLOORS AND LANDINGS. BEVELING OF NOSINGS SHALL NOT EXCEED 1/2".
I. THERE SHALL BE A FLOOR OR LANDING AT TOP AND BOTTOM OF EACH STAIRWAY. THEM MINIMUM WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED. LANDINGS OF SHAPES OTHER THAN SQUARE OR RECTANGULAR SHALL BE PERMITTED PROVIDED THE DEPTH AT THE WALK LINE AND THE TOTAL AREA IS NOT LESS THAN THAT OF QUARTER CIRCLE WITH A RADIUS EQUAL TO THE REQUIRED LANDING WIDTH. WHERE STAIRWAY HAS A STRAIGHT RUN, THE MINIMUM DEPTH IN THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN 36".
J. THE WALKING SURFACE TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NO STEEPER THAN ON VERTICAL UNIT IN 48 INCHES HORIZONTAL (2-PERCENT SLOPE).
K. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS.
L. HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES.
M. HANDRAILS FOR STAIRWAYS SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT, FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEVEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAILS.
N. ALL REQUIRED HANDRAILS SHALL BE ONE OF THE FOLLOWING TYPES OR PROVIDE EQUIVALENT GRASPABILITY.
a.) TYPE I. HANDRAILS WITH A CIRCULAR SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/2" AND NOT GREATER THAN 2". IF THE HANDRAILS IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4" AND NOT GREATER THAN 6 3/4" WITH A MAXIMUM CROSS SECTION OF DIMENSION OF 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".
b.) TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 6 3/4" SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4" MEASURED VERTICALLY FROM THE TALLEST PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 3/8" WITHIN 3/8" BELOW THE WIDEST PORTION OF THE PROFILE. THIS REQUIRED DEPTH SHALL CONTINUE FOR AT LEAST 3/8" TO A LEVEL THAT IS NOT LESS THAN 1 1/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4" TO A MAXIMUM OF 2 3/4" BELOW THE TALLEST PORTION OF THE PROFILE. THE MINIMUM WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 1/4" TO A MAXIMUM OF 2 3/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01".
2. INTERIOR STAIRWAY CONSTRUCTION
A. CARRIAGE: (3) 2"x12" SYP. SHM AS REQUIRED.
B. TREADS : 1 1/2" STOCK OAK, FIRST TREAD TO HAVE 12" RETURN.
C. RISERS: 3/4" STOCK OAK
D. SKIRT: 3/4" STOCK OAK
E. RAIL: ALL OAK, 36" HIGH
F. RAILS: 2 3/4"W x 2 1/2"H WITH ALL REQUIRED PARTS START WITH LH VOLUTE.
G. BALUSTERS: 3/4" TURNED WOOD (2) PER TREAD
H. RAILS: 3/2" TURNED WOOD
I. WALL RAIL: SIMILAR WITH BRACKETS

2 DOORS AND WINDOWS - GENERAL NOTES

1. ALL EXTERIOR DOORS AND WINDOWS SHALL BE DESIGNED AND INSTALLED TO WITHSTAND DESIGN WIND LOADS BASED ON ASCE 7-10.
2. ALL TRIM, DOORS & WINDOWS TO BE PAINTED, COLOR SELECTION BY OWNER.
3. DOOR & WINDOW SIZES MAY HAVE MINOR ADJUSTMENT TO ALLOW STOCK SIZES.
4. ALL SIZES MUST COMPLY WITH CODE, VERIFY ANY CHANGES WITH ARCHITECT.
5. ALL WINDOWS IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE R308.
6. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ/FT, WINDOWS LESS THAN 4'-4" ABOVE GRADE MAY HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQ/FT. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". THE MAX. SILL HEIGHT SHALL BE 44" ABOVE FINISHED FLOOR.
7. ALL WINDOWS SHALL MEET THE REQUIREMENTS OF 2015 INTERNATIONAL RESIDENTIAL CODE SECTION R301.2.1.2. GLAZING SHALL MEET THE SPECIFIED REQUIREMENTS OR THE CONTRACTOR SHALL PROVIDE 3/8" MINIMUM PLYWOOD PANELS FOR ALL WINDOWS OR SHALL PROVIDE SHUTTERS ON ALL WINDOWS THAT MEET THE REQUIREMENT OF R301.2.1.2.
8. ALL WINDOWS TO HAVE A MAXIMUM U-FACTOR OF 0.75 & A SOLAR HEAT GAIN COEFFICIENT RATING OF 0.40.
9. ALL WINDOWS TO BE DOUBLE GLAZED, INSULATED
10. WINDOWS DESIGNATED WITH (T) INDICATES TEMPERED GLASS
11. CONTRACTOR SHALL PROVIDE "SECURE DOOR" BRACING SYSTEM FOR GARAGE DOORS INSTALLED PER MANUFACTURER'S SPECIFICATION'S AND RECOMMENDATIONS.
12. GARAGE DOOR IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE R302.5.1; 20 MIN. FIRE & SELF CLOSING.

3 STEEL - GENERAL NOTES

1. ALL REINFORCING STEEL SHALL BE ASTM A615 GR.60. ALL WELDED WIRE REINFORCEMENT SHALL BE ASTM A185 IN FLAT SHEETS.
2. ALL UNEXPOSED STEEL SHALL BE SHOP PAINTED (IN ACCORDANCE WITH AISC STANDARDS) OR GALVANIZED.
3. LINTEL SIZES (FOR BRICK VENEER) ASTM A36 STEEL:
0' to 4' OPENINGS: L4x3-1/2x3/8
>4' to 6' OPENINGS: L5x3-1/2x3/8
>6' to 8' OPENINGS: L6x3-1/2x3/8
>8' to 10' OPENINGS: L7x4x1/2
>10' to 12' OPENINGS: L8x4x1/2
>12' to 16' OPENINGS: L9x4x5/8
4. LINTELS SHALL HAVE AT LEAST 8" BEARING ON BRICK WALL ON BOTH SIDES OF OPENINGS.
5. ALL BOLTS SHALL BE ASTM A307 HOT DIP GALVANIZED MATERIAL.
6. METAL ROOFING (IF APPLICABLE) SHALL BE PER OWNER & MEET THE WIND REQUIREMENTS OF THIS DRAWING & GOVERNING BUILDING CODES.
7. ALL PLATES SHALL BE ASTM A36 (IF APPLICABLE)
8. ALL STEEL PIPES SHALL BE ASTM A53, TYPE-S (SEAMLESS) GRADE B (Fy=35 KS), U.L.D (IF APPLICABLE)

4 THERMAL & MOISTURE - GENERAL NOTES

1. ALL THERMAL AND MOISTURE PROTECTION WORK AND MATERIALS SHALL CONFORM TO LOCAL, STATE AND FEDERAL CODES.
2. CONTRACTOR SHALL PROVIDE THE FOLLOWING MINIMUM INSULATION (AS APPLICABLE).
A. WALLS: R-13 BATT (2x4 WALL), R-19 BATT (2x6 WALL)
B. CEILING, STANDARD: R-30 BLOWN
C. CEILING, VAULTED: R-19 BATT
D. FLOORS (2-STORY SPACES ONLY): R-19 BATT
E. FLOORS (CRAWL SPACE UNDER FLOOR): R-19 BATT, OR EQUIVALENT RIGID BOARD INSULATION
3. ROOFING MATERIAL SHALL BE PER OWNER/BUILDER AGREEMENT & SHALL MEET WIND SPEED CRITERIA SHOWN ON THIS SET OF PLANS.
4. INSTALL ROOFING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS.
5. SIDING MATERIAL SHALL BE PER OWNER/BUILDER AGREEMENT & SHALL MEET WIND SPEED CRITERIA AS SHOWN ON THIS SET OF PLANS.
6. INSTALL EXTERIOR WALL SIDING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS & RECOMMENDATIONS.

4 WOOD CONNECTORS - GENERAL NOTES

1. WOOD CONNECTORS SHALL BE GALVANIZED MATERIAL AND IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE GOVERNING BUILDING CODE.
2. ADDITIONAL CORROSION PROTECTION MAY BE REQUIRED WHEN CONNECTING HEAVILY TREATED WOOD FRAMING. CONTRACTOR TO VERIFY.
3. UPLIFT CONNECTORS SHALL BE PROVIDED FOR A CONTINUOUS LOAD PATH FROM FOUNDATION TO RAFTER. CONNECTORS ARE IN ADDITION TO BUILDING CODE NAILING REQUIREMENTS.
4. CONNECTORS SHALL BE INSTALLED WITH THE MAXIMUM NUMBER OF FASTENERS PER THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS UNLESS SPECIFICALLY NOTED OTHERWISE.
5. ALL STRAPPING SHALL BE INSPECTED PRIOR TO SHEATHING INSTALLATION.
6. TOP PLATE SPLICE SHALL BE WITHIN THE MIDDLE THIRD OF THE WALL SECTION AND SHALL BE A MINIMUM LENGTH OF 48". CONNECT WITH 16d NAILS @ 3" O.C. OR 2 ROWS OF 8d WIRE NAILS @ 3" O.C.
7. JOIST HANGER DEPTH SHALL BE AT LEAST 60% OF JOIST DEPTH. SEE SIMPSON LUS & HUS TABLES.

5 SHEATHING - GENERAL NOTES

1. USE 3/8" APA EXPOSURE 1 RATED SHEATHING ON ALL EXTERIOR WALLS, SHEAR WALLS, AND ROOF. PLYWOOD IS AN ACCEPTABLE ALTERNATE FOR APA EXPOSURE 1 RATED SHEATHING.
2. ROOF SHEATHING SHALL BE FASTENED WITH 8d RING SHANK NAILS @ 12" O.C. AT ALL INTERMEDIATE FRAMING MEMBERS. USE 8d RING SHANK NAILS WITHIN 5'-0" OF ROOF EDGES. SPACE NAILS @ 4" O.C. WITHIN 5'-0" OF GABLE END WALLS, ROOF EDGES, HIPs, & VALLEYS.
3. FLOOR SHEATHING TO BE APA RATED, 3/4" THICK MINIMUM C-D TONGUE & GROOVE GLUE & NAIL TO FLOOR JOISTS WITH 8d COMMON NAILS @ 6" O.C. AT EDGES & 12" O.C. AT INTERMEDIATE JOISTS.
4. NAILING PATTERN FOR NON-SHEAR WALL SHEATHING: 8d NAILS @ 8" O.C. @ ALL EDGES/PERIMETER 8d NAILS @ 12" O.C. @ ALL INTERIOR STUDS.
5. REFER TO SHEAR WALL DETAIL FOR FURTHER INFORMATION.

6 FRAMING - GENERAL NOTES

1. 4 1/2" DOOR LEADS UNLESS NOTED OTHERWISE.
2. 2x12 HEADERS AT ALL EXTERIOR DOORS AND WINDOW OPENINGS 4'-0" AND LARGER (TYP.)
3. ALL STRONG BACKS TO BE OFFSET FROM CENTER OF ROOM MINIMUM OF 16"
4. INSTALL OSB & 1/2" EXTERIOR DRYWALL IN CEILINGS OF ALL DEAD SPACE & FIREPLACE CAVITY.
5. EXTERIOR SHEAR WALL (TYPICAL FOR ALL EXTERIOR WALLS)
6. 4 STUDS MIN. REQUIRED UNDER LAM BEAMS.
7. REFER TO DRAWING SHEET R1.0 FOR MINIMUM JOIST SPAN CHARTS
8. REFER TO DRAWING SHEET R1.1 FOR POST DETAILS

7 ROOF - GENERAL NOTES

1. FOR ROOFS SLOPING GREATER THAN 12:12, ADHERE TO THE FOLLOWING REQUIREMENTS:
A. RAFTERS SPACED 16" O.C. PER SCHEDULE & RIDGE BOARD SIZED UP ONE SIZE FROM THAT LISTED IN SCHEDULE.
B. STRAPS OR COLLARS REQUIRED EACH RAFTER.
C. BRACING TO LOAD BEARING WALL REQUIRED EACH RAFTER.
2. POWER ROOF VENTS TO BE SIZED BY A LICENSED HVAC CONTRACTOR & SHALL BE USED WHEN THE LINEAR FEET OF RIDGE VENTING DOES NOT SATISFY THE REQUIREMENTS OF 2015 INTERNATIONAL RESIDENTIAL CODE SECTION R806.
3. LOCATION OF ALL EXHAUST VENTS, SANITARY SEWER VENTS, ROOF PENETRATIONS, POWER VENTILATORS, ETC... SHALL NOT BE LOCATED WITHIN THE FRONT ELEVATION OF THE ROOF.

8 FIRE RESISTANCE - GENERAL NOTES

1. RESIDENTIAL CONSTRUCTION SHALL COMPLY WITH 2015 INTERNATIONAL RESIDENTIAL CODE R302 REQUIREMENTS.
2. DWELLING/GARAGE SEPARATION SHALL BE PROVIDED IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE SECTION R302; TABLE R302.6.
3. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" TYPE "X" FIRE RATED GYPSUM BOARD IN ACCORDANCE WITH 2015 INTERNATIONAL RESIDENTIAL CODE R302; SECTION R302.7.

5 STRUCTURAL WOOD - GENERAL NOTES

1. PROVIDE 3/8" STRUCTURAL PLYWOOD ROOF DECKING AS PER SPECIFICATIONS. EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION (APA) AND SHALL MET THE REQUIREMENTS OF THE MOST CURRENT APA PRODUCT STANDARD PS 1. APPLICATION AND NAILING OF PLYWOOD PANEL SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE AMERICAN PLYWOOD ASSOCIATION UNLESS REQUIREMENTS NOTED ON THESE CONTRACT DOCUMENTS ARE MORE STRICT.
2. WALL SHEATHING SHALL BE 3/8". EACH PANEL SHALL BE IDENTIFIED WITH THE GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION AND SHALL MEET THE REQUIREMENTS OF THE MOST CURRENT APA PRODUCT STANDARD PS 1. APPLICATION AND NAILING OF PLYWOOD PANELS SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER, UNLESS REQUIREMENTS NOTED ON THESE CONTRACT DOCUMENTS ARE MORE STRICT.
3. PLYWOOD WALL PANELS SHALL BE ORIENTED WITH FACE GRAIN PERPENDICULAR TO SUPPORT STUD.
4. PLYWOOD ROOF PANELS SHALL BE ORIENTED WITH FACE GRAIN PERPENDICULAR TO SUPPORT TRUSSES.
5. WOOD CONSTRUCTION, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE "CONVENTIONAL CONSTRUCTION PROVISIONS," INTERNATIONAL BUILDING CODE. ALL NAILING SHALL CONFORM TO TABLE 2304.9.1 "NAILING SCHEDULE" OF THE INTERNATIONAL BUILDING CODE, UNLESS OTHER REQUIREMENTS NOTED ON THE DRAWINGS ARE MORE STRICT.
6. FOUNDATION PLATES FOR LOAD BEARING WALLS ON CONCRETE OR MASONRY WALLS SHALL BE PRESSURE TREATED LUMBER, #2 GRADE MINIMUM. SILLS SHALL BE ANCHORED TO CONCRETE OR MASONRY WITH 3/8"x12" ANCHOR BOLTS SPACED 48" O.C. MAXIMUM. THERE SHALL BE A MINIMUM OF THREE BOLTS PER PIECE WITH ONE BOLT LOCATED WITHIN 8" OF EACH END OF EACH PIECE. THERE SHALL BE NO SILL SPLICE UNDER ANY POST OR MULLION.
7. POSTS AND BEAMS CONSTRUCTED OF MULTIPLE LAMINATED VENEER LUMBER MEMBERS SHALL BE FASTENED TOGETHER ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
8. ALL JOISTS, ROOF BEAMS AND GIRDRS SHALL HAVE FULL HORIZONTAL BEARING OF THE MEMBER OVER SUPPORT UNLESS OTHERWISE SHOWN. DO NOT OVERTUR.
9. PLYWOOD USED ON EXTERIOR BUILDING AND FORMS SHALL BE EXTERIOR GRADE.
10. USE NON-CORROSSIVE, NON-STAINING ROUGH HARDWARE FOR EXTERIOR APPLICATIONS.
11. ALL BEAMS AND JOIST NOT BEARING ON SUPPORTING MEMBERS SHALL BE CONNECTED WITH "USP STRUCTURAL CONNECTORS" OR EQUIVALENT "SIMPSON" HANGERS.
12. BOTTOM PLATES OF ALL FIRST FLOOR NON-LOAD BEARING PARTITIONS SHALL BE ANCHORED USING #8 CONCRETE NAILS AT 32" O.C. (OR EQUAL).
13. ALL LAG SCREWS SHALL BE PRE-DRILLED AS REQUIRED BY PROVISIONS OF THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (AF & PA, 1997), PART 9.
14. ALL BEARING STUD WALLS AND SHEAR WALLS SHALL HAVE A CONTINUOUS DOUBLE TOP PLATE LAP SPLICE TOP PLATES MINIMUM 4'-0". FASTEN TOGETHER WITH MINIMUM (2) ROWS OF 10d NAILS AT 4" O.C., STAGGERED AT LAP SPLICE. FASTEN REMAINING TOP PLATES TOGETHER WITH MINIMUM (2) ROWS OF 10d NAILS AT 8" O.C., STAGGERED.
15. BOLT HOLES SHALL BE MAXIMUM 1/8" LARGER THAN BOLT HOLE DIAMETER. BOLTS SHALL NOT BE FORCIBLY DRIVEN. BOLT HEADS AND NUTS SHALL NOT BE COUNTERSUNK WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.
16. TENSION ALL BOLTS 1/4 TURN BEYOND SNUG-TIGHT. SPOIL THREADS TO PREVENT BACK OFF OF NUT AFTER INSTALLATION.
17. PROVIDE 3/8" DIAMETER LEAD HOLES THROUGH FIRST LAMINATION FOR ALL NAILS LARGER THAN 16d.
18. ALL WOOD CONNECTORS SHALL BE BY "USP STRUCTURAL CONNECTORS" OR "SIMPSON STRONG-TIE". ALL JOISTS AND BEAMS NOT BEARING ON A SUPPORTING MEMBER SHALL BE FRAMED WITH AN APPROPRIATE WOOD CONNECTOR.

9 WOOD TRUSS - GENERAL NOTES

1. FABRICATED IN ACCORDANCE WITH ANSI/TPI-1 REQUIREMENTS.
2. WOOD TRUSS DESIGN TO BE CERTIFIED BY A PRODUCT MANUFACTURER'S PROFESSIONAL ENGINEER FOR REVIEW BY THE ARCHITECT / STRUCTURAL ENGINEER. CALCULATIONS AND SHOP DRAWINGS TO INCLUDE TRUSS LAYOUT AND DESIGN FOR EACH LOAD AND SPAN CONDITION. THE TRUSS DESIGN SHALL INCLUDE TRUSS CONFIGURATION, WOOD GRADE, LOADING MEMBER STRESSES, LIVELOAD DEFLECTION, DEAD LOAD DEFLECTION AND CAMBER REQUIREMENTS.
3. ROOF TRUSSES SHALL BE LIMITED TO LIVE LOAD DEFLECTION OF L/240 OF THE SPAN AND SHALL BE CAMBERED FOR DEAD LOAD DEFLECTION.
4. FLOOR TRUSSES SHALL BE LIMITED TO A LIVELOAD DEFLECTION OF L/360 OF THE SPAN AND SHALL BE CAMBERED FOR A DEAD LOAD DEFLECTION.
5. LATERALLY BRACE WOOD TRUSSES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND AS SHOWN ON THE DRAWINGS.
6. PROVIDE "USP RT-15" HURRICANE HOLDDOWN ANCHORS AT EACH ROOF TRUSS BEARING POINT.

10 ENGINEERED BEAMS/JOISTS - GEN. NOTES

1. CONTRACTOR SHALL SUPPORT LAMINATED BEAMS/BUILT-UP BEAMS WITH A MINIMUM 3-STUD COLUMN EACH END.
2. PROVIDE CMS114 STRAPS AT ENDS OF BEAMS SUBJECT TO UPLIFT LOADING. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL ENGINEERED BEAMS/JOISTS SHOWING ALL REQUIRED CONNECTORS, BLOCKING AND SUPPORT REQUIREMENTS FOR APPROVAL.
CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO WOOD JOIST AND BEAM SUPPLIER; CONTRACTOR SHALL INDICATE LOCATION OF ALL AREAS WHERE ROOF LOAD WILL BE TRANSFERRED ONTO CEILING JOISTS OR BEAMS. THE ROOF LOAD SHALL INCLUDE THE ROOF LOADS IN ACCORDANCE WITH 2015 IRC AND THE ADDITIONAL LOAD OF THE ROOF MATERIAL SELECTED BY THE OWNER.

6 DESIGN LOADS - GENERAL NOTES

ATTICS, UNINHABITABLE w/o STORAGE: LIVE LOAD = 10 PSF DEAD LOAD = 5 PSF
ATTICS, UNINHABITABLE w/LIMITED STORAGE: LIVE LOAD = 20 PSF DEAD LOAD = 10 PSF
ROOF RAFTERS: LIVE LOAD = 20 PSF DEAD LOAD = 10 PSF
FLOOR JOISTS SPANS: RESIDENTIAL SLEEPING AREAS: LIVE LOAD = 30 PSF DEAD LOAD = 20 PSF RESIDENTIAL LIVING AREAS: LIVE LOAD = 40 PSF DEAD LOAD = 20 PSF

7 SPECIFIC DESIGN LOADS

1. ALL CEILING JOISTS ON FIRST FLOOR THAT ARE BELOW ATTIC HAVE BEEN CALCULATED AS BEING UNINHABITABLE ATTICS WITHOUT STORAGE: LIVE LOAD = 10 PSF, L/Delta = 240; DEAD LOAD = 5 PSF

8 DESIGN LOADS

WIND LOAD: 142 MPH EXPOSURE CAT.: "B" RISK CAT.: II ENCLOSED BUILDING INTERNAL PRESSURE COEFFICIENT, GcPI = ±0.18

9 UPLIFT ANCHORS - GENERAL NOTES

1. ALL ANCHOR BOLTS SHALL BE ASTM A307 BOLTS AND SHALL HAVE A MIN. EMBEDMENT OF 7". EACH BOLT SHALL HAVE A 3"x3"x3/8" WASHER.
A. EXTERIOR OPTIONS
a) 3/8" A.B. @ 24" O.C. & WITHIN 12" OF EACH BUILDING CORNER.
b) SIMPSON MASA ANCHORS @ 24" O.C.
B. INTERIOR SHEAR WALLS
a) 3/8" A.B. @ 4'-0" O.C.
2. REFER TO PLANS AND DETAILS FOR ADDITIONAL ANCHORS REQUIRED AT SHEAR WALLS.

10 DIMENSIONAL LUMBER - GENERAL NOTES

1. DIMENSION LUMBER TO BE SOUTHERN SYP NO. 2 (OR BETTER).
2. STRUCTURAL TIMBER WITH THE EXCEPTION OF STUDS AND TOP PLATES ACCORDING TO REQUIREMENTS 2015 INTERNATIONAL RESIDENTIAL CODE AND NOT TO EXCEED MAXIMUM SPAN TABLES OF SOUTHERN FOREST PRODUCTS ASSOCIATION'S LATEST ISSUE. PROVIDE BRIDGING WHERE SHOWN OR WHEN JOISTS EXCEED 8' SPAN.
3. ALL LUMBER IN CONTACT WITH EARTH, CONCRETE AND/OR MASONRY SHALL BE TREATED MIN. 0.40 PCA.
4. FLOOR, ATTIC AND ROOF FRAMING SHALL BE AS PER PLAN OR SIZED ACCORDING TO REQUIREMENTS 2015 INTERNATIONAL RESIDENTIAL CODE AND NOT TO EXCEED MAXIMUM SPAN TABLES OF SOUTHERN FOREST PRODUCTS ASSOCIATION'S LATEST ISSUE. PROVIDE BRIDGING WHERE SHOWN OR WHEN JOISTS EXCEED 8' SPAN.
5. PROVIDE DOUBLE FLOOR JOISTS UNDER BEARING WALLS OR A BEAM AS REQUIRED BY PRODUCT MANUFACTURER'S STRUCTURAL ENGINEER.
6. INSTALL 3 STUDS UNDER EACH BEARING POINT OF BEAM STUDS TO BE FASTENED TOGETHER WITH .120x3" (8d) NAILS @ 4" O.C. & WITHIN 3" OF EACH END OF STUDS. MIN. 2x TO MATCH STUD WALL.
7. FIRE BLOCKING SHALL BE PROVIDED IN ALL WALL FRAMING AT INTERVALS TO NOT EXCEED 10'-0".
8. ALL MEMBER SIZES GIVEN ON PLAN ARE NOMINAL DIMENSIONS.
9. WOOD LINTELS SHALL HAVE A FULL 3" LENGTH OF BEARING AT EACH END UNLESS OTHERWISE NOTED.
10. ALL NAILING SHALL CONFORM TO IBC TABLE 2304.9.1 "FASTENING SCHEDULE" UNLESS OTHERWISE NOTED ON THE PLANS.
11. SPACING OF BRIDGING FOR FLOOR AND ROOF JOISTS SHALL NOT EXCEED 8' OR 6 TIMES THE NOMINAL JOIST DEPTH (WHICHEVER IS GREATER).
12. DOUBLE ALL JOISTS UNDER PARALLEL PARTITIONS.
13. ALL WOOD CONNECTORS SHALL BE BY "USP STRUCTURAL CONNECTORS" OR "SIMPSON STRONG-TIE". ALL JOISTS AND BEAMS NOT BEARING ON A SUPPORTING MEMBER SHALL BE FRAMED WITH AN APPROPRIATE WOOD CONNECTOR.
14. WOOD STUD BEARING WALLS SHALL HAVE AT LEAST ONE 8" COURSE OF CONCRETE BLOCK BETWEEN THE BOTTOM OF THE SILL PLATE AND THE TOP OF THE FOOTING.
15. WOOD JOISTS SHALL BEAR ON THE FULL WIDTH OF SUPPORTING MEMBERS (STUD WALLS, BEAMS, ETC.), UNLESS NOTED OTHERWISE.
16. PROVIDE SOLID BLOCKING BELOW ALL JAMB/TRIMMER/CRIPPLE STUDS (TYPICAL AT ALL FLOORS)
17. ALL FOUNDATION PLATES, SILLS AND SLEEPERS ON CONCRETE SLAB, WHICH IS IN DIRECT CONTACT WITH EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATION WALLS, SHALL BE TREATED WOOD.
18. FOR ALL WOOD TREATED WITH PRESERVATIVES, CONNECTORS AND FASTENERS MUST BE COATED WITH ONE OF THE FOLLOWING:
A. HOT DIPPED GALVANIZED PER ASTM A123 FOR CONNECTORS AND ASTM 153 FOR FASTENERS.
B. MECHANICALLY GALVANIZED PER ASTM 695, CLASS 55 OR GREATER.
C. TRIPLE ZINC G185 HDG PER ASTM A653 OR EQUAL.

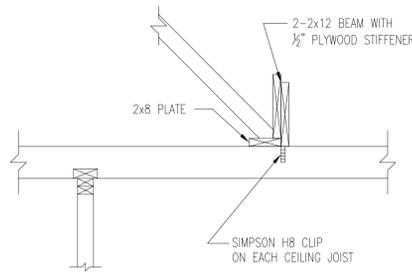
RESIDENTIAL RENOVATION/ADDITION PLAN FOR: Sheldon & Sheri Simoneaux

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES ST. CHARLES PARISH & THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS. AND THAT I AM NOT ADMINISTERING THE WORK.
Home Design, L.L.C.
Sheldon S. Simoneaux, Jr. (504) 377-9220

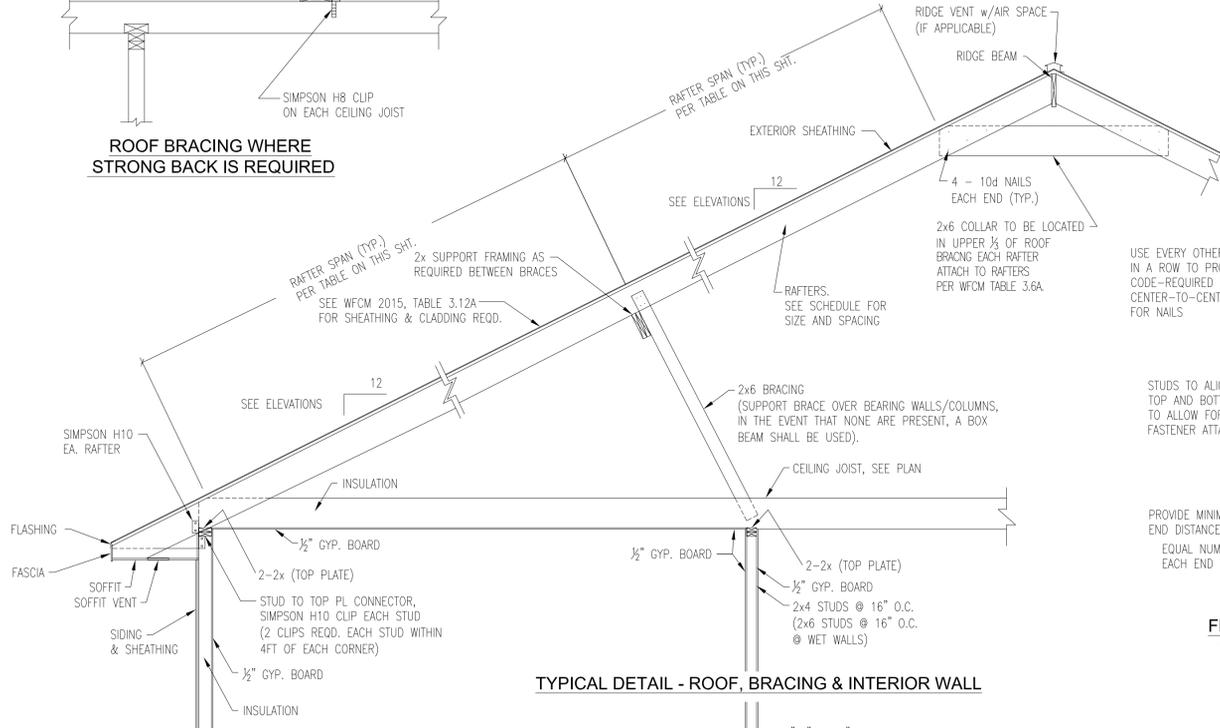
Table with 3 columns: MARK, DESCRIPTION, DATE. Row 1: DATE: 3/19/2019. Row 2: MARK, DESCRIPTION, DATE.

SHEET TITLE CONSTRUCTION NOTES SHEET IDENTIFICATION

S2.0 SHEET 8 OF 11

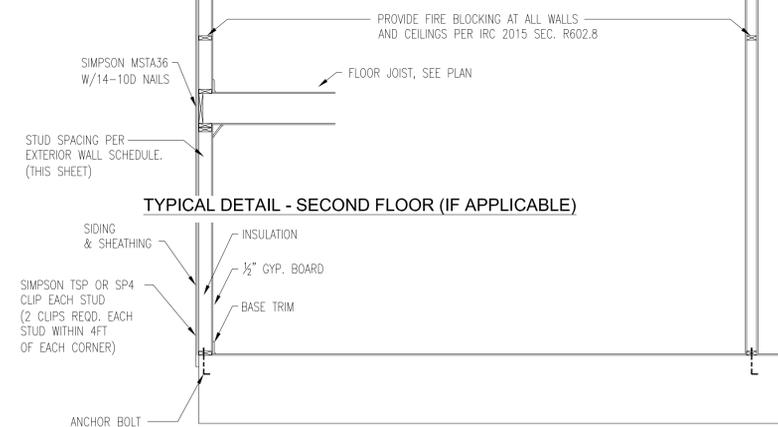


ROOF BRACING WHERE STRONG BACK IS REQUIRED



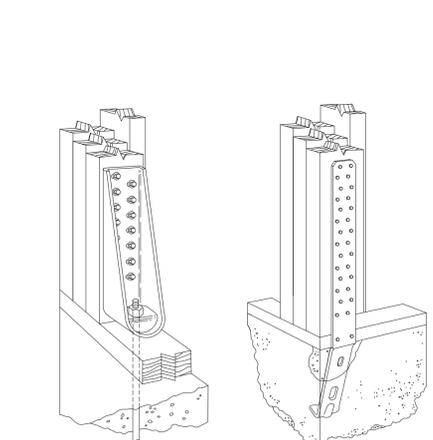
TYPICAL DETAIL - ROOF, BRACING & INTERIOR WALL

TYPICAL DETAIL - WALL AT EAVE (SIDING)

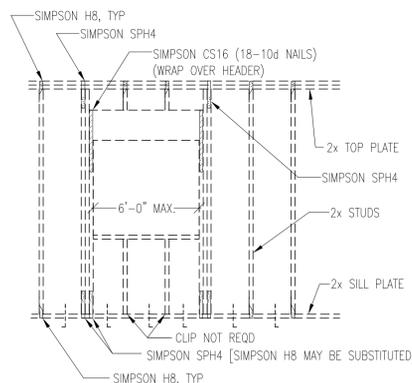


TYPICAL DETAIL - SECOND FLOOR (IF APPLICABLE)

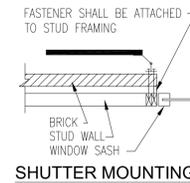
TYPICAL FRAMING SECTION



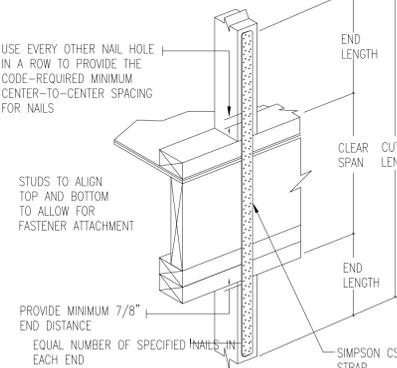
CORNER HOLD DOWN DETAILS



TYPICAL WINDOW OPENING DETAIL
ALL EXTERIOR WALLS SHALL BE SHEATHED, NOT SHOWN. SEE SHEAR WALL DETAIL FOR INFO NOT SHOWN. RAFTERS AND ANCHOR BOLTS NOT SHOWN FOR CLARITY. CLIPS SHOWN ARE BASED UPON WINDOW LOCATION WITHIN 4FT FROM CORNER

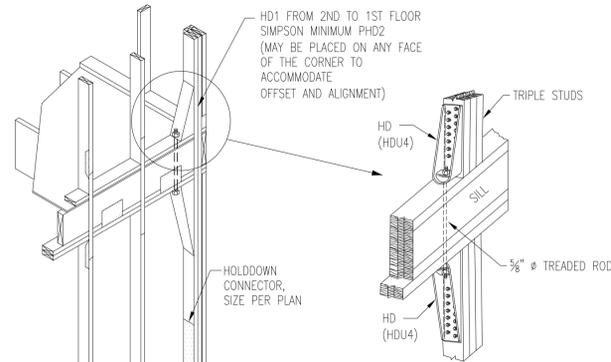


SHUTTER MOUNTING

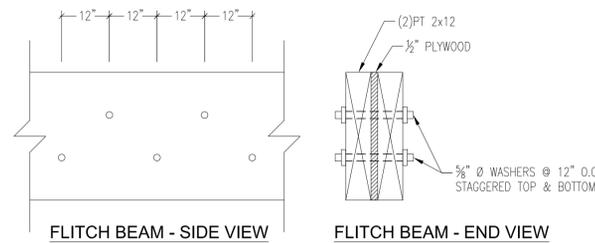


FLOOR TO FLOOR HOLD DOWN AT ALL STUDS BETWEEN 1ST & 2ND FLOOR

2-STORY HD1 TO 2ND FLOOR HOLDDOWN AT SHEAR WALL CORNERS

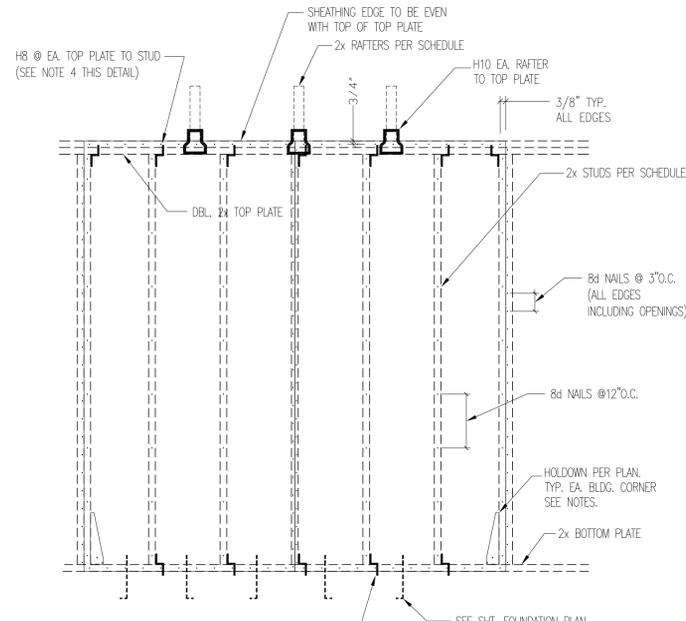


TYPICAL FLOOR TO FLOOR SHEAR WALL HOLDDOWN DETAIL



FLITCH BEAM - SIDE VIEW

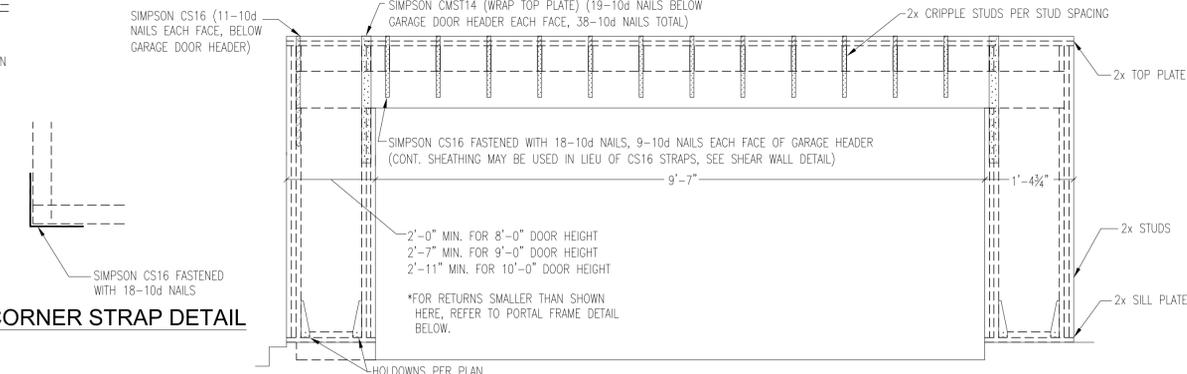
FLITCH BEAM - END VIEW



SHEAR WALL DETAIL

- NOTES:
- ALL EXT. WALLS SHALL BE SHEATHED. ALL STRAPPING SHALL BE INSPECTED PRIOR TO SHEATHING INSTALLATION.
 - ALL CONNECTORS MUST BE INSTALLED ON THE EXT. (SAME SIDE AS SHEATHING) PRIOR TO SHEATHING INSTALLATION. SHEATHING NAILS SHALL NOT PENETRATE CONNECTOR.
 - SHEATHING PANELS MUST BE INSTALLED VERTICALLY.
 - TOP PLATE TO STUD & STUD TO SILL PLATE CONNECTORS NOT REQUIRED WHEN CONTINUOUS SHEATHING IS INSTALLED PER ABOVE SPECIFICATIONS. CONTINUOUS SHEATHING SHEAR WALL SYSTEMS SHALL HAVE ANCHOR BOLTS PLACED @ 16" O.C.
 - 3/4" APA SHEATHING EXPOSURE 1 PANELS TO BE CONT. (MIN. 1/2" PLATE LAP) FROM SOLE PLATE TO TOP PLATE SOLID BLOCKING AT ALL PANEL EDGES.
 - INTERIOR SHEAR WALLS SHALL FOLLOW THE SAME SPECIFICATIONS AS ABOVE WITH THE FOLLOWING EXCEPTIONS:
 - A. 8d NAILS @ 8" O.C. ALL EDGES
 - B. A SIMPSON H8 SHALL BE INSTALLED AT EA. JOIST TO TOP PLATE LOCATION.
 - HOLDDOWNS ARE REQUIRED AT THE END OF EACH SEGMENTED SHEAR WALL SEGMENT OR AT THE END OF A PERFORATED SHEAR WALL. WHEN FULL HEIGHT SHEAR WALL SEGMENTS MEET AT A CORNER, A SINGLE HOLDDOWN SHALL BE PERMITTED TO BE USED TO RESIST THE OVERTURNING FORCES IN BOTH DIRECTIONS WHEN THE CORNER FRAMING IN THE ADJOINING WALLS IS FASTENED TOGETHER TO TRANSFER THE UPLIFT LOAD. SEE THE CORNER STRAP DETAIL.

CORNER STRAP DETAIL



TYPICAL SHEARWALL @ GARAGE DOOR OPENING DETAIL
ALL EXTERIOR WALLS SHALL BE SHEATHED

RAFTER SPAN TABLE

140mph (V-ult) / 110mph (V-usd) EXP 7°C

SPAN (ft)	RAFTER SIZE @ 24" O.C.
UP TO 4'-11"	2x4
5'-0" TO 7'-4"	2x6
7'-5" TO 9'-4"	2x8
9'-5" TO 11'-1"	2x10

RAFTER SPANS BASED ON WIND SPEED FACTORS FOR ALL PITCHES PER TABLE 3.26A-B FOOT NOTE 3

ALL RIDGE BOARDS USED SHALL BE NO. 2 SP WITH DEPTHS 2" GREATER THAN RAFTERS WHERE OVER-FRAMING IS NOT SYMMETRICAL BOTH SIDES (AS SHOWN ABOVE). RIDGES SHALL BE VERTICAL SUPPORTED W/ 2x6 AT 48" O.C.

FLOOR JOIST SPAN TABLE

(BEDROOM AREA LL = 30psf / DL = 10psf)

SPAN (ft)	JOIST SIZE	SPACING
10'-3"	2x6	16" O.C.
13'-3"	2x8	16" O.C.
15'-8"	2x10	16" O.C.
18'-1"	2x10	12" O.C.
18'-6"	2x12	16" O.C.
21'-4"	2x12	12" O.C.

FLOOR JOIST SPAN TABLE

(LIVING AREA LL = 40psf / DL = 10psf)

SPAN (ft)	JOIST SIZE	SPACING
9'-4"	2x6	16" O.C.
11'-10"	2x8	16" O.C.
14'-0"	2x10	16" O.C.
16'-2"	2x10	12" O.C.
16'-6"	2x12	16" O.C.
19'-1"	2x12	12" O.C.

CEILING JOIST SPAN TABLE

(UNINHABITABLE ATTICS WITH STORAGE LL = 20psf)

SPAN (ft)	JOIST SIZE	SPACING
12'-0"	2x6	16" O.C.
15'-3"	2x8	16" O.C.
18'-1"	2x10	16" O.C.
20'-11"	2x10	12" O.C.

CEILING JOIST SPAN TABLE

(UNINHABITABLE ATTICS WITH NO STORAGE LL = 10psf)

SPAN (ft)	JOIST SIZE	SPACING
16'-11"	2x6	16" O.C.
21'-7"	2x8	16" O.C.
25'-7"	2x10	16" O.C.

EXTERIOR WALL SCHEDULE

BASIC WIND SPEED	WALL HEIGHT	STUD SIZE	STUD SPACING
V ≤ 140 mph	≤ 12'-0"	2"x4"	16" O.C.
	12'-0" - 16'-0"	2"x6"	16" O.C.
140 mph ≤ V ≤ 160 mph	16'-0" - 18'-0"	2"x6"	12" O.C.
	≤ 11'-0"	2"x4"	16" O.C.
	11'-0" - 15'-0"	2"x6"	16" O.C.
	15'-0" - 18'-0"	2"x6"	12" O.C.

LINTEL SCHEDULE

OPENING	LINTEL SIZE
5'-0" OR LESS	3" x 3" x 1/4"
5'-0" - 8'-0"	4" x 3" x 1/4"
9'-0"	5" x 3 1/2" x 5/16"
10'-0"	6" x 3 1/2" x 5/16"

FOR OPENINGS OVER 10'-0" SEE FLOOR PLAN

HEADER SCHEDULE

OPENING	HEADER SIZE
LESS THAN 3'-0"	2 - 2"x6"
3'-0" to 4'-0"	2 - 2"x8"
4'-0" to 6'-0"	2 - 2"x12"
MORE THAN 6'-0"	SEE FLOOR PLAN

RESIDENTIAL RENOVATION/ADDITION PLAN FOR:
Sheldon & Sheri Simoneaux

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES ST. CHARLES PARISH & THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS. AND THAT I AM NOT ADMINISTERING THE WORK.

SSS
Home Design, I. I. c.
Sheldon S. Simoneaux, Jr. (504) 377-9220

PROJECT NO. 1900
DATE: 3/19/2019

MARK	DESCRIPTION	DATE

SHEET TITLE
CONSTRUCTION DETAILS

SHEET IDENTIFICATION

S2.1

CONCRETE - GENERAL NOTES

- CONCRETE SHALL BE SUPPLIED AND CONSTRUCTED IN ACCORDANCE WITH ACI-318 (LATEST EDITION) AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS. CONCRETE MIX DESIGN SHALL BE IN ACCORDANCE WITH ACI-301 REQUIREMENTS (LATEST EDITION).
- CONCRETE MIX SHALL BE DESIGNED PER ACI SPECIFICATIONS BY A QUALIFIED REGISTERED ENGINEER. MIX DESIGN, TEST RESULTS, AND HISTORICAL DATA RESULTS SHALL BE SUBMITTED FOR APPROVAL BY THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
- ALL CONCRETE WORK SHALL BE IN STRICT ACCORDANCE WITH A.C.I. STANDARDS SPECIFICATION FOR CONCRETE AND REINFORCED CONCRETE.
- ALL CONCRETE PLACEMENT SHALL CONFORM TO A.C.I. 301 AND A.C.I. 318.
- BOTTOMS OF ALL EXCAVATIONS AND EARTHEN FORMS SHALL BE FLAT, LEVEL, TRUE TO GRADE AND LINE, AND COMPLETELY FREE OF LOOSE DIRT, DEBRIS AND SLUSH.
- DAMPEN EARTH AGAINST WHICH CONCRETE IS POURED JUST PRIOR TO THE POUR, BUT DO NOT POUR INTO TRENCHES WITH STANDING WATER.
- FORMS FOR EXPOSED FINISH CONCRETE: PLYWOOD, METAL, METAL-FRAMED PLYWOOD FACED, OR OTHER ACCEPTABLE PANEL TYPE MATERIALS TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH, EXPOSED SURFACES.
- CONCRETE SHALL BE TYPE I OR TYPE II UNLESS OTHERWISE SPECIFIED IN THE GEOTECHNICAL INVESTIGATION REPORT. USE NORMAL WEIGHT AGGREGATES HAVING A MAXIMUM AGGREGATE SIZE OF 1 1/2 INCH. THE SLUMP SHALL NOT EXCEED 6 INCHES UNLESS SPECIFIC HIGH RANGE WATER REDUCERS OR OTHER ADDITIVES ARE USED.
- ALL CONCRETE IN FOUNDATION BEAMS AND SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE (REQUIREMENTS A.C.I. 315-02)
- CALCIUM CHLORIDE OR OTHER MATERIALS CONTAINING CHLORIDES IN ANY FORM SHALL NOT BE USED. WHERE FLY ASH IS USED, ONLY TYPE "C" FLY ASH SHALL BE ACCEPTED.
- WATER SHALL NOT BE ADDED TO CONCRETE AT THE JOB SITE UNLESS APPROVED BY ENGINEER. IF MORE WORKABILITY IS NEEDED, THE CONTRACTOR SHALL SPECIFY REQUIRED SLUMP ON THE JOB ORDER. THE CONCRETE PLANT CAN INCREASE WORKABILITY BY ADDING UP TO 5% AIR ENTRAINMENT, ADDITIONAL CEMENT OR ADMIXTURES.
- CONCRETE SHALL NOT BE PLACED AT TEMPERATURES BELOW 40 DEGREES FAHRENHEIT, IN RAINY WEATHER, OR IN OTHER ADVERSE WEATHER CONDITIONS.
- COLD WEATHER CONCRETING PRECAUTIONS AS SPECIFIED IN ACI STANDARD 308R-88 SHALL BE USED WHEN PLACING CONCRETE DURING COLD WEATHER PERIODS AS DESCRIBED IN THE LATEST EDITION OF THE ACI STANDARDS.
- CONCRETE SHALL BE CONSOLIDATED, ESPECIALLY IN THE VICINITY OF TENDON ANCHORAGES.
- ONE (1) LAYER OF POLYETHYLENE VAPOR BARRIER SHALL BE PLACED UNDER ALL CONCRETE SLABS ON GRADE.
- A LAPPED AND TAPED 6 MIL POLYETHYLENE VAPOR RETARDER SHALL BE PLACED IN ACCORDANCE WITH THE CONSTRUCTION AND MAINTENANCE MANUAL FOR POST-TENSIONED SLAB-ON-GROUND FOUNDATIONS, (LATEST EDITION).
- CONTRACTOR SHALL CURE CONCRETE IN ACCORDANCE WITH ACI-301 (LATEST EDITION) IMMEDIATELY AFTER FINISHING TO CONTROL SHRINKAGE CRACKING. FORMS SHALL BE STRIPPED NOT LESS THAN 24 HOURS AND NOT MORE THAN 6 DAYS AFTER PLACEMENT OF CONCRETE.
- CONTRACTOR SHALL VERIFY ANY CURING COMPOUNDS USED IS COMPATIBLE WITH FLOORING MATERIALS.
- CONTRACTOR SHALL CURE CONCRETE IN ACCORDANCE WITH ACI-301 (LATEST EDITION) IMMEDIATELY AFTER FINISHING TO CONTROL SHRINKAGE CRACKING. CURING OF CONCRETE FOUNDATION SLAB SURFACE PER ACI-302.1R IS RECOMMENDED TO REDUCE THE PROBABILITY OF CURING OR SHRINKAGE CRACKS.
- CONTRACTOR/BUILDER SHALL COMPLETE ALL FORM WORK IN ACCORDANCE WITH ACI-301, VERIFY ALL DIMENSIONS, DROPS, OFFSETS, BRICK LEDGES, INSERTS, AND OPENINGS WITH ARCHITECTURAL DRAWINGS.
- REFER TO ARCHITECTURAL DRAWINGS FOR TOP OF SLAB ELEVATIONS, SLOPES, RECESSES, LEDGES AND STEPS.
- THE WOOD SOLE PLATE AND WOOD SILL PLATE AT EXTERIOR WALLS SHALL BE ANCHORED TO THE FOUNDATION WITH 5/8" DIAMETER BY 10"-12" LONG GALVANIZED ANCHOR BOLTS WITH 7" MINIMUM EMBEDMENT. ANCHOR BOLTS SHALL BE SPACED AT A MAXIMUM OF 18" O.C. FOR ONE (1) STORY AND TWO STORY STRUCTURES. FOR TWO (2) STORY STRUCTURES, THERE SHALL BE A MINIMUM OF TWO (2) BOLTS PER PLATE SECTION WITH ONE (1) BOLT LOCATED NOT MORE THAN 12" OR LESS THAN 7 BOLT DIAMETERS FROM EACH END OF THE PLATE SECTION OR BY EQUIVALENT QUANTITY OF USP FOUNDATION ANCHORS.
- LAPS, SPLICES TIES, HOOKS, BENDS AND IMBEDMENT LENGTHS FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH A.C.I. "MANUAL OF STANDARD PRACTICE, DETAILS AND DETAILING OF CONCRETE REINFORCEMENT", A.C.I. 318, A.C.I. 315, AND IN ACCORDANCE WITH C.R.S.I. STANDARDS.
- ALL REINFORCING STEEL SHALL BE GRADE 60 BAR CONFORMING TO THE LATEST EDITION OF ASTM.
- CLEAR DISTANCE BETWEEN ADJACENT LAYERS OF REINFORCEMENT SHALL BE 2 INCHES MINIMUM UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE ALLOWED TO MAKE SPLICES IN ADDITION TO THOSE INDICATED ON THE DRAWINGS WHERE ESSENTIAL TO CONSTRUCTABILITY, SUBJECT TO ENGINEERS APPROVAL.
- PLACEMENT, CLEARANCES AND MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE PROVIDED IN ACCORDANCE WITH A.C.I. 318.
- REINFORCEMENT SHALL HAVE 4" COVER IN THE GRADE BEAM BOTTOMS, 2" COVER IN THE COLUMNS, BEAM SIDES AND TOP 1 1/2" COVER IN THE SLAB TOP AND BOTTOMS, UNLESS NOTED OTHERWISE.
- BARs SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACING.
- GRADE BEAM DIMENSIONS SHOWN ARE MINIMUM REQUIRED AND MAY NOT BE REDUCED, NOR ENLARGED WITHOUT WRITTEN APPROVAL FROM ARCHITECT / ENGINEER.
- NO FIELD SUPERVISION IS PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED IN WRITING ON THIS PLAN.
- SLAB FIELD OBSERVATIONS AFTER CONSTRUCTION WILL BE BILLED AT HOURLY RATES IF REQUESTED.

CONCRETE - GENERAL NOTES (CONT.)

- THE MAXIMUM SPAN OF THE SHORT DISTANCE FOR A 4" CONCRETE STRUCTURAL SLAB SHALL NOT EXCEED 10'-0" (MAXIMUM).
- SOIL UNDER CONCRETE FOUNDATION MUST BE TREATED WITH CHEMICAL TERMITICIDE TREATMENT AS REQUIRED BY Sec. R318 IRC 2015 ED.
- CONTRACTION JOINTS SHALL BE PLACED TO PRODUCE PANELS THAT ARE SQUARE AND NEVER EXCEED 1.5 TO 1 RATIO LENGTH TO WIDTH.
- JOINTS SHALL BE PLACED AT DISTANCES 24 TO 30 TIMES THE SLAB THICKNESS.
- CONTRACTION / CONTROL JOINTS SHALL BE AT A 1/4" DEPTH MINIMUM.
- ALL UTILITY RUNS SHALL BE PLACED BELOW THE SLAB. A CONSTANT SLAB THICKNESS AS SHOWN ON THE SLAB PLAN SHALL BE MAINTAINED ABOVE THE UTILITIES RUNS.
- PROVIDE CONSTRUCTION JOINTS IN ACCORDANCE WITH A.C.I. COORDINATE JOINT LOCATIONS WITH ARCHITECT/ENGINEER AND SUBMIT PLAN SHOWING PROPOSED CONSTRUCTION JOINTS TO ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL PRIOR TO POURING SLAB.

CONCRETE STEEL REINFORCED - NOTES

- REINFORCING STEEL SHALL BE 60 KSI, BE IN ACCORDANCE WITH ASTM A615, HAVE DEFORMATIONS IN ACCORDANCE WITH ASTM A305, AND SHALL BE DETAILED IN ACCORDANCE WITH ACI-318 (LATEST EDITION) AND REINFORCING SHALL CONFORM TO ASTM A-615.
- PROVIDE ALL NECESSARY REINFORCING STEEL ACCESSORIES TO HOLD BARS IN PROPER POSITION.
- WHERE NOT SPECIFICALLY COVERED, REINFORCING SHALL BE DETAILED IN ACCORDANCE WITH ACI STANDARD 315. ALL BEAM REINFORCING IS CONTINUOUS THROUGH COLUMN FOOTINGS.
- PROVIDE CORNER BARS OF THE SAME SIZE AND NUMBER AS HORIZONTAL BARS AT CORNERS AND INTERSECTIONS. ALL STEEL REINFORCING BARS SHALL HAVE SPLICES, HOOKS, EMBEDMENT(S) AND DEVELOPMENT LENGTHS IN ACCORDANCE WITH CURRENT ACI & CRSI CODES AND STANDARDS.
- UNLESS NOTED OTHERWISE, LAP ALL BARS 24 BAR DIAMETERS AT CORNERS, SPLICES AND INTERSECTIONS.
- FOR MISCELLANEOUS ANGLES, DETAILS, OUTSIDE CONCRETE WORK, ETC., SEE ARCHITECTURAL DRAWINGS.
- WELDED WIRE FABRIC SHALL BE 6x12 - 0/1 WWF IN ACCORDANCE WITH ASTM A185, AND SHALL BE PLACED IN ACCORDANCE WITH PLANS AND DETAILS.
- IF SPLACING IS NECESSARY, CONTINUOUS REINFORCING BARS SHALL BE LAPPED A MINIMUM OF 30 TIMES THE DIAMETER OF THE BAR.
- ALL REBAR REINFORCEMENT MUST BE SUPPORTED BY BRICK OR CHAIR ONLY.

MASONRY - GENERAL NOTES

- ALL BRICKWORK SHALL CONFORM TO BRICK INDUSTRY ASSOCIATION STANDARDS & THE BUILDING CODE.
- VERTICAL EXPANSION JOINTS IN BRICK VENEER WALLS SHALL BE SPACES AT 30 FEET MAX.
- TIES SHALL BE SPACED A MAXIMUM OF 16" O.C. BOTH WAYS. ALL TIES MUST BE EMBEDDED AT LEAST 1 1/2" INTO THE BRICK VENEER WITH A MINIMUM MORTAR COVER OF 5/8" TO THE OUTSIDE FACE OF THE WALL. THEY MUST BE SECURELY ATTACHED TO THE STUDS THROUGH THE SHEATHING, NOT TO THE SHEATHING ALONE. AROUND THE PERIMETER OF OPENINGS, ADDITIONAL TIES SHOULD BE INSTALLED AND SPACES AT A MAXIMUM OF 3' O.C. WITHIN 12" OF THE OPENING.
- BRICK IS USUALLY SELECTED ON THE BASIS OF THEIR APPEARANCE WHICH INCLUDES COLOR, TEXTURE AND SIZE. TO ASSURE QUALITY, BRICK UNITS SHALL CONFORM TO ONE OF THE FOLLOWING: ASTM C216 SPECIFICATION FOR FACING BRICK, ASTM C652 SPECIFICATION FOR HOLLOW BRICK, ASTM C1406 SPECIFICATION FOR GLAZED BRICK (SINGLE-FIRED, SOLID UNITS) OR ASTM C126 SPECIFICATION FOR CERAMIC GLAZED STRUCTURAL CLAY FACING TILE, FACING BRICK AND SOLID MASONRY UNITS.
- ALL BRICK UNITS SHALL BE OF GRADE SW. THE USE OF SALVAGED BRICK IS NOT RECOMMENDED SINCE SUCH BRICK MAY NOT BOND PROPERLY WITH MORTAR AND MAY BE LESS DURABLE.
- UNIT MASONRY MORTAR SHALL CONFORM TO ASTM C270 SPECIFICATIONS. MORTAR PLAYS AN IMPORTANT ROLE IN THE FLEXURAL STRENGTH OF A BRICK VENEER WYTHE. TESTS OF FULL SCALE WALLS INDICATE THAT THE BOND BETWEEN MORTAR AND BRICK UNITS IS THE MOST IMPORTANT SINGLE FACTOR AFFECTING WALL STRENGTH WHEN RESISTING HORIZONTAL JOINT CRACKING.
- THE BUILDER/CONTRACTOR SHALL SELECT THE LOWER COMPRESSIVE UNIT STRENGTH MORTAR THAT IS COMPATIBLE WITH THE BRICK USED ON THE PROJECT. FOR MORE INFORMATION, REFER TO TECHNICAL NOTES 8 SERIES BY THE BRICK INDUSTRY ASSOCIATION.
- WEEPHOLES SHALL BE PROVIDED IN THE OUTSIDE WYTHE OF MASONRY WALLS @ A MAX. SPACING OF 33" O.C. PER R703.7.6.
- THE MAX. UNSUPPORTED HEIGHT OF MASONRY PIERS SHALL NOT EXCEED TEN TIMES THEIR LEAST DIMENSION PER R606.5.

FOUNDATION - SPECIFIC NOTES

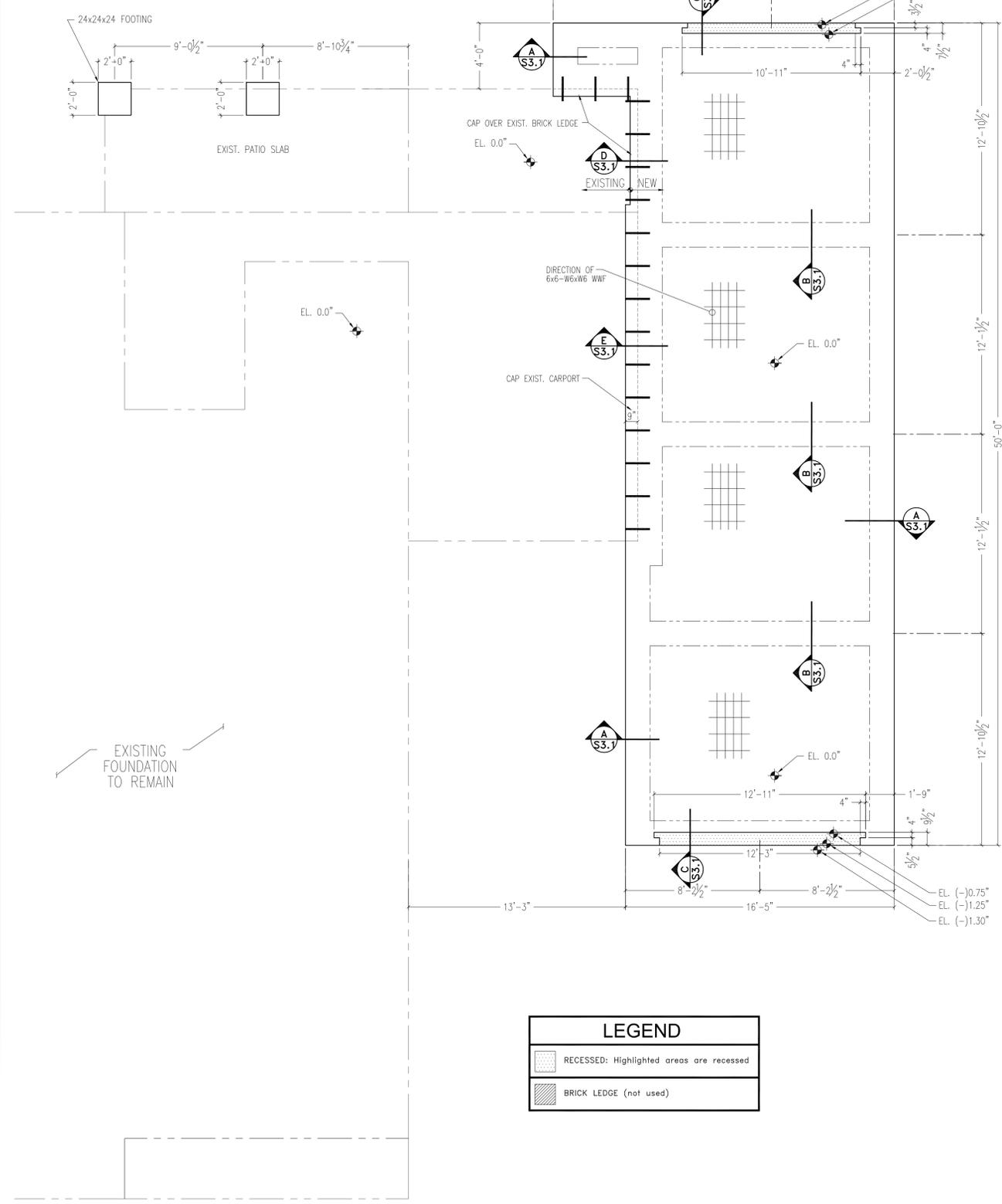
- ALL FOUNDATION CONSTRUCTION SHALL COMPLY IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE, THE REQUIREMENTS OF THE LATEST A.C.I AND P.T.I CODES, AND LOCAL BUILDING CODES.
- ALL FEDERAL, STATE & LOCAL CODES, ORDINANCES, REGULATIONS, ETC., SHALL BE CONSIDERED AS PART OF SPECIFICATIONS FOR THIS BUILDING AND SHALL TAKE PREFERENCE OVER ANYTHING SHOWN, DESCRIBED, OR IMPLIED WHERE SAME ARE AT VARIANCE.
- STRUCTURE IS NOT PILE FOUNDED AT OWNERS REQUEST. OWNER TAKES RESPONSIBILITY FOR ANY NEAR SURFACE ANOMALY SINCE SOIL BORING SAMPLES AND TEST WERE NOT CONDUCTED. OWNER IS AWARE THAT A POTENTIAL EXISTS FOR DIFFERENTIAL SETTLEMENT DUE TO EXISTING UNKNOWN SOIL CONDITIONS. SOIL FOUNDATION HAS BEEN DESIGNED BASED ON STANDARD PRACTICES AND THE OWNER IS RESPONSIBLE FOR PROVIDING A SOIL TEST REPORT TO BE PROVIDED TO THE ARCHITECT FOR REVIEW.
- THIS PLAN IS TO BE USED ONLY FOR THE LOCATION INDICATED ON THE PLAN.

SOILS - GENERAL NOTES

- MATERIAL FILL SHALL BE AN INERT GRANULAR MATERIAL COMPACTED IN SIX (6) INCH LIFTS TO 95% STANDARD PROCTOR IN ACCORDANCE WITH ASTM D-1557 (OR GREATER AS REQUIRED BY GOVERNING REGULATORY AGENCIES). SOIL COMPACTION IS THE RESPONSIBILITY OF OWNER/CONTRACTOR. COMPACTION SHALL BE IN ACCORDANCE WITH ASTM D698. OWNER/CONTRACTOR SHALL PLACE FILL IN ADVANCE OF CONSTRUCTION SO THAT THE PAD WILL HAVE SUFFICIENT TIME TO SURCHARGE THE UNDERLYING SO THAT SETTLEMENT OF PAD DUE TO FILL IS NOT A FACTOR. THE OWNER/CONTRACTOR'S GEOTECHNICAL ENGINEER SHALL VERIFY SETTLEMENT AND COMPACTION REQUIREMENTS OF THE PAD PRIOR TO CONSTRUCTION AND SUBMIT FINDINGS TO ENGINEER OF RECORD PRIOR TO PLACEMENT OF CONCRETE.
- OWNER SHALL OBTAIN SOIL REPORT TO VERIFY CONDITIONS PRIOR TO CONSTRUCTION. FAILURE TO PROPERLY TEST OR COMPACT SOIL WILL VOID ARCHITECT/ENGINEER'S DESIGN AND HOLD ARCHITECT/ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
- REMOVE A MINIMUM OF 8" OF EXISTING SOIL AND ALL UNSTABLE SILT PRIOR TO PLACING OF FILL MATERIAL.
- PROPER SITE PREPARATION, CONSTRUCTION TECHNIQUES AND QUALITY CONTROL ARE IMPORTANT FOR THE INTEGRITY OF THE FOUNDATION SYSTEM. THESE CONSTRUCTION EFFORTS SHALL BE MAINTAINED AND DOCUMENTED BY THE OWNER'S GEOTECHNICAL ENGINEER.
- OWNER/CONTRACTOR SHALL GRUB, THEN PROOF ROLL SITE WITNESSED BY GEOTECHNICAL ENGINEER. OWNER/CONTRACTOR IS RESPONSIBLE FOR GEOTECHNICAL ENGINEER COST FOR PROOF ROLL AND TESTING. PROOF ROLL AND COMPACTION DOCUMENTATION SHALL BE SUBMITTED TO THE ENGINEER OF RECORD PRIOR TO THE PLACEMENT OF ANY CONCRETE.
- THE OWNER/CONTRACTOR SHALL HAVE COMPLETE LIABILITY AND RESPONSIBILITY FOR FILL, BACKFILL, AND EXISTING SOILS ON PROJECT SITE. NEITHER THE ARCHITECT, NOR THE ENGINEER, IS RESPONSIBLE OR LIABLE IN ANY WAY FOR EXCAVATION AND EARTHWORK REQUIREMENTS, FILL, BACKFILL, OR EXISTING SOILS ON THE PROJECT SITE. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR PROVIDING SOIL TO SUPPORT THE BUILDING AND OTHER STRUCTURES AS REQUIRED BY THE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO THIS PROJECT MANUAL, SPECIFICATIONS AND ARCHITECTURAL DRAWINGS (INCLUDING THE NOTES THEREIN) AND THE FOUNDATION DRAWINGS (INCLUDING THE NOTES THEREIN). THE OWNER/CONTRACTOR SHALL PROVIDE ALL GEOTECHNICAL ENGINEERING AND ANALYSIS, AND SOIL TESTING REQUIRED GUARANTEEING THAT THE REQUIRED STRUCTURAL CHARACTERISTICS OF THE SOIL UNDER AND NEAR THE BUILDING AND OTHER STRUCTURES MEET OR EXCEED THE REQUIREMENTS SET FORTH IN THE CONSTRUCTION DOCUMENTS.
- FOUNDATION IS DESIGNED FOR MINIMUM ALLOWABLE CAPACITY OF 1,200 PSF (S.F. OF 3)(AND STABLE NON-EXPANSIVE SOIL WITH A $P_i < 20$ & $P_{vr} < 1$). OWNER/CONTRACTOR SHALL VERIFY CONDITIONS. FAILURE TO PROPERLY TEST OR COMPACT SOIL WILL VOID ARCHITECT/ENGINEER'S DESIGN AND HOLD ARCHITECT/ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
- OWNER/CONTRACTOR SHALL PROTECT FOUNDATION FROM THE EFFECTS OF MOISTURE EVAPORATION DUE TO TREE'S ADJACENT TO THE STRUCTURE. DENYING REPLISHMENT OF MOISTURE TO THE SOIL RESULTS IN A LOSS AND CONSEQUENT SHRINKAGE OF THE SOIL MASS. SUCH SHRINKAGE PROMOTES DIFFERENTIAL SETTLEMENT AND STRUCTURE CRACKING.
- THE OWNER/CONTRACTOR IS RESPONSIBLE TO MAINTAIN THAT ALL RUN-OFF WATER IS CARRIED AWAY FROM SLAB TO PREVENT SATURATION OF FOUNDATION SUB-BASE FILL AT ALL TIMES DURING AND AFTER CONSTRUCTION AND THROUGHOUT THE LIFE OF THE STRUCTURE. INSTALLATION OF FLOWER BEDS MUST NOT COLLECT WATER AT FOUNDATION EDGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTION, SHORING, UNDERPINNING, BRACING, ISOLATION, ETC... OF ALL EXISTING CONDITIONS AS REQUIRED TO PREVENT ANY DISTURBANCES TO EXISTING CONDITIONS AS A RESULT OF THIS WORK.
- ANY TREES REMOVED MUST HAVE ROOT BALL COMPLETELY REMOVED. GRINDING OF STUMP TO REMOVE WILL NOT BE ALLOWED.
- ALL SUB-GRADE FILL SHALL BE MASHTO CLASSIFICATION A-4 MATERIAL OR BETTER.
- A SOIL COMPACTION TEST WILL BE REQUIRED IF FILL AMOUNT IS IN EXCESS OF 18" INCHES TO VERIFY COMPACTION OF SOIL. SUBMIT RESULTS TO ENGINEER PRIOR TO PROCEEDING WITH EXCAVATION OF FOOTINGS. FAILURE TO PROPERLY COMPACT SOIL WILL VOID ARCHITECT/ENGINEER'S DESIGN AND HOLD ARCHITECT/ENGINEER HARMLESS IF DIFFERENTIAL SETTLEMENT OCCURS.
- EXTERIOR AND INTERIOR FOOTINGS DO NOT HAVE TO PENETRATE BELOW NATURAL SOIL PROVIDED THAT A MINIMUM OF 2 TO 1 REQUIREMENTS HAVE BEEN MET. ANY FILL MATERIAL BROUGHT INTO THE FORMS AND THE FILL IS NOT EXTENDING BEYOND PERIMETER MUST HAVE FOOTINGS PENETRATE 12" INTO NATURAL GROUND. A MINIMUM 18" OF FILL MAYBE PLACED ON THE SITE UNLESS APPROVED BY DESIGN ARCHITECT/ENGINEER. MAXIMUM DIFFERENTIAL FILL SHALL NOT EXCEED 20%.
- ALL RUNOFF WATER MUST BE CARRIED AWAY FROM SLAB TO PREVENT SATURATION OF SUB-BASE FILL AT ALL TIMES DURING CONSTRUCTION AND AFTER CONSTRUCTION THROUGHOUT THE STRUCTURE'S LIFE AND IS THE RESPONSIBILITY OF THE OWNER, BUILDER, GENERAL CONTRACTOR AND OR HOMEOWNER.
- ANY FLOWER BEDS INSTALLED MUST BE INSTALLED SO AS TO NOT COLLECT WATER AT FOUNDATION EDGES.
- RECOMMENDED USE OF A GUTTER SYSTEM TO COLLECT AND DISTRIBUTE WATER AWAY FROM FOUNDATION.
- ALL TREE'S WITHIN CLOSE PROXIMITY TO FOUNDATION SHALL BE REMOVED TO PRE MOISTURE CONTENT OF THE FOUNDATION AND/OR FROM THE ROOTS EXTENDING UNDER THE SLAB. TREES WITHIN CLOSE PROXIMITY THAT WILL AFFECT MOISTURE CONDITIONS AT THE FOUNDATION EDGE MUST HAVE A PROPERLY DESIGNED AND INSTALLED ROOT BARRIER SYSTEM OR REMOVE THE TREE FROM DAMAGING THE FOUNDATION.
- TREES OR OTHER VEGETATION TALLER THAN 6 FEET OR OF THE TYPE THAT REQUIRES EXCESSIVE AMOUNTS OF WATER SHALL NOT BE PLANTED WITHIN 20 FEET OF THE FOUNDATION.
- EXISTING TREES WITHIN 20'-0" OF THE FOUNDATION MUST UTILIZE A PROVEN ROOT CONTROL METHOD SUCH AS A ROOT BARRIER.
- EXCAVATIONS FOR SWIMMING POOLS SHALL NOT BE PLACED CLOSER THAN 10 FEET FROM THE FOUNDATION WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
- LANDSCAPING SHALL BE PLANNED SUCH THAT ADEQUATE MOISTURE CAN REACH AND BE DRAINED FROM AROUND THE FOUNDATION.

FOUNDATION GENERAL NOTES

- BEAM DIMENSIONS SHOWN ARE THE MINIMUM REQUIRED AND MAY NOT BE REDUCED, OR ENLARGED WITHOUT APPROVAL BY ENGINEER.
- DISH OUT AROUND ANCHOR BOLTS TO PROVIDE A MINIMUM OF SIX (6) INCHES OF CONCRETE COVER.
- POLYETHYLENE VAPOR BARRIER SHALL BE PLACED UNDER ALL CONCRETE (REFER TO PLAN).
- COORDINATE STRUCTURAL DRAWINGS WITH CIVIL, ARCHITECTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR ALL OPENINGS, INSERTS AND OTHER RELATED ITEMS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DROPS, OFFSETS, BRICK LEDGES AND BLOCK-OUTS ON ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION.



FOUNDATION PLAN
1/4" = 1'-0"

RESIDENTIAL RENOVATION/ADDITION PLAN FOR:
Sheldon & Sheri Simoneaux

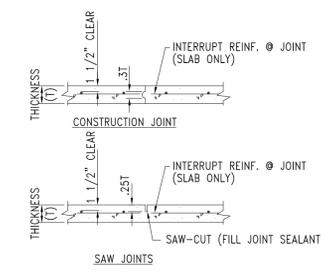
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SSS
Home Design, L.L.C.
Sheldon S. Simoneaux, Jr. (504) 377-9220

PROJECT NO. 1900		
DATE: 3/19/2019		
MARK	DESCRIPTION	DATE

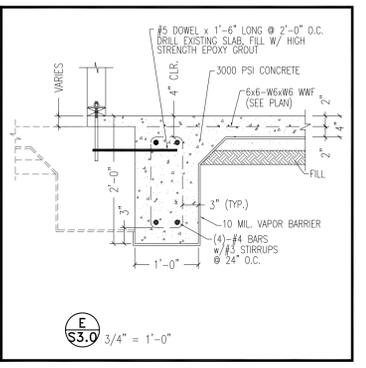
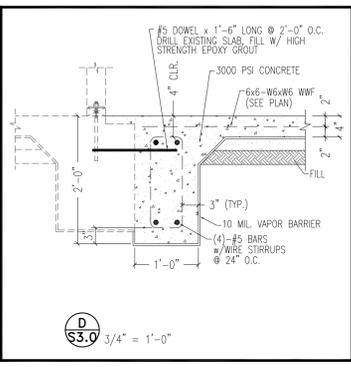
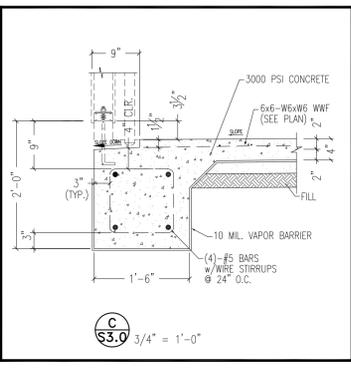
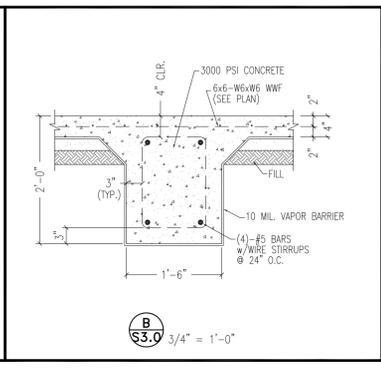
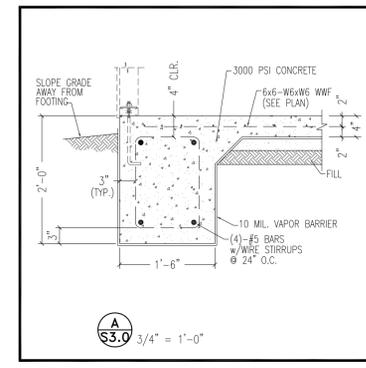
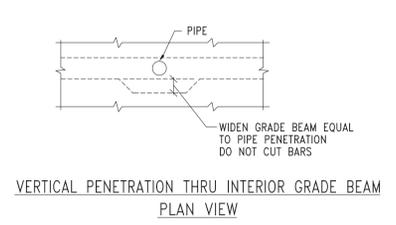
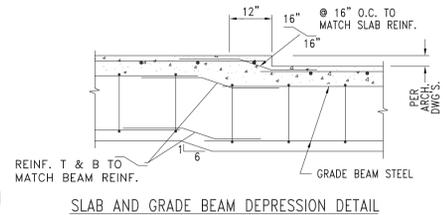
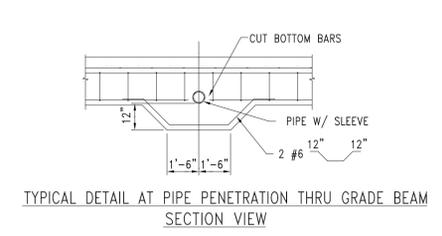
SHEET TITLE
FOUNDATION PLAN

SHEET IDENTIFICATION
S3.0
SHEET 10 OF 11



CONTRACTION JOINTS (C.J.)
NO SCALE

1. CONTRACTION JOINT MAY BE EITHER JOINT SHOWN ABOVE. IF SLAB IS SAW CUT, SLAB SHALL BE SAWED IMMEDIATELY AFTER FINISHED TROWLING. SAW CUTTING SHALL BE COMPLETED WITHIN 4 HOURS OF PLACING CONCRETE.
2. TO CONTROL CONCRETE SHRINKAGE EFFECTS IT IS RECOMMENDED TO PROVIDE CONTRACTION JOINTS (SEE DETAIL) IN SLAB ON GRADE SO THAT NO LENGTH IS GREATER THAN 24 FEET AND THE AREA IS LESS THAN 400 SQ. FEET. NO JOINT WILL BE ALLOWED IN SPECIAL FLOORING SUCH AS CERAMIC OR QUARRY TILES, UNLESS APPROVED. PROVIDE DRAWING FOR APPROVAL OR PROPOSED JOINT LAYOUT, IF NOT SHOWN ON PLAN.



RESIDENTIAL RENOVATION/ADDITION PLAN FOR:
Sheldon & Sheri Simoneaux

THESE PLANS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY OR UNDER MY CLOSE SUPERVISION. I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES ST. CHARLES PARISH & THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY OR MY CONSULTANTS KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREIN. I TAKE FULL RESPONSIBILITY FOR THE CONTENTS. AND THAT I AM NOT ADMINISTERING THE WORK.

SSS
Home Design, I. I. c.
Sheldon S. Simoneaux, Jr. (504) 377-8220

PROJECT NO. 1900		
DATE: 3/19/2019		
MARK	DESCRIPTION	DATE

SHEET TITLE
FOUNDATION DETAILS

SHEET IDENTIFICATION

S3.1
SHEET 11 OF 11

Chris Welker

From: Sheldon Simoneaux <sheldon.simoneaux@gmail.com>
Sent: Friday, April 12, 2019 9:28 AM
To: Chris Welker
Subject: RE: waiver to hard surface parking

I would like to request a waiver to the dust-free hard surface requirement. The reason limestone was chosen for that portion of the driveway is due to the root system of the Live Oak tree. The rest of the driveway is concrete from the façade of the residence on back. The root system of the tree has destroyed the original driveway. Trying to replace in kind with concrete will kill the tree when excavating & forming. Limestone was recommended by a horticulturalist to save the tree.

Sheldon S. Simoneaux, Jr.
504.377.8220 cell
sheldon.simoneaux@gmail.com

From: Chris Welker <cwelker@stcharlesgov.net>
Sent: Friday, April 12, 2019 9:13 AM
To: Sheldon Simoneaux <sheldon.simoneaux@gmail.com>
Subject: waiver to hard surface parking

Mr. Simoneaux,

This is a follow up to our phone conversation regarding the limestone driveway shown on your site plan for the accessory dwelling unit.

Parish code requires parking/vehicular areas to be dust-free hard surface. If you would like to move forward with the limestone portion as shown, you can request a waiver to this requirement as part of the special permit request.

You can reply to this email to formally request the waiver.

Let me know if you have any questions.

Thank you,

Chris Welker, AICP

Planner
St. Charles Parish
Department of Planning & Zoning
Office: 985-783-5060
Email: cwelker@stcharlesgov.net

**INTRODUCED BY: LARRY COCHRAN, PARISH PRESIDENT
(DEPT. OF PLANNING & ZONING)**

ORDINANCE NO. _____

A resolution providing mandatory support for the Planning and Zoning Commission's approval for an accessory dwelling unit in an R-1A zoning district, with a waiver to Section VIII. Site Design Requirements, A.2. requiring off-street parking surfaced with permanent dust-free paving on Lot 15A, Square B, Murray Hill Subdivision, municipal address 224 Murray Hill Drive, Destrehan as requested by Sheldon and Sheri Simoneaux.

WHEREAS, Sheldon and Sheri Simoneaux requests a special permit use to permit an accessory dwelling unit in an R-1A zoning district; and,

WHEREAS, the St Charles Parish Department of Planning and Zoning recommended approval of the special permit use; and,

WHEREAS, The St. Charles Parish Planning & Zoning Commission [approved/denied] the special permit at its regular meeting on May 2, 2019.

NOW, THEREFORE, BE IT RESOLVED THAT THE ST. CHARLES PARISH COUNCIL hereby provides this resolution in support of the Planning and Zoning Commission's approval of a Special Permit Use for an accessory dwelling unit in an R-1A zoning district, with a waiver to Section VIII. Site Design Requirements, A.2. requiring off-street parking surfaced with permanent dust-free paving on Lot 15A, Square B, Murray Hill Subdivision, municipal address 224 Murray Hill Drive, Destrehan as requested by Sheldon and Sheri Simoneaux.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

And the resolution was declared adopted this ____ day of _____, 2019, to become effective five (5) days after publication in the Official Journal.

CHAIRMAN: _____

SECRETARY: _____

DLVD/PARISH PRESIDENT: _____

APPROVED: _____ DISAPPROVED _____

PARISH PRESIDENT: _____

RETD/SECRETARY: _____

AT: _____ RECD BY: _____

St. Charles Parish Department of Planning & Zoning

LAND USE REPORT CASE NUMBER: 2019-5-SPU

GENERAL APPLICATION INFORMATION

- ◆ **Name/Address of Applicant** **Application Date: 4/2/19**
Jeffrey Vitrano
202 Ormond Oaks Drive
Destrehan, LA 70047
(504)-495-3985; jeffvitrano@gmail.com
- ◆ **Location of Site**
North 1/2 of Lot 2, Lot 3, and South 3/4 of Lot 4, Ormond Oaks Subdivision; 202 Ormond Oaks Drive, Destrehan
- ◆ **Requested Action**
640 square foot detached accessory dwelling unit

SITE-SPECIFIC INFORMATION

- ◆ **Size of Parcel(s)**
The site consists of three contiguous lots totaling 17,595 square feet with 135 feet of frontage.
- ◆ **Current Zoning and Use**
R-1A, Single Family Residential; the property is developed with a site-built single family dwelling.
- ◆ **Surrounding Zoning and Land Uses**
R-1A & R-1B zoning developed with single-family houses surrounds the site.
- ◆ **Utilities**
Water, sewer, and drainage serve the site, and representatives from the Departments of water works and Public Works & Wastewater indicate that utilities can accommodate an ADU.

APPLICABLE REGULATIONS

[I.] R-1A. Single family residential detached conventional homes —Medium density

1. Use Regulations:
 - c. Special permit uses and structures include the following:
 - (1) Child care centers.
 - (2) Public and private schools (except trade, business, and industrial).
 - (3) Golf courses (but not miniature courses or driving ranges) and country clubs with a site of at least five (5) acres and with all parking at least fifty (50) feet from rear and side property lines.
 - (4) Educational, religious and philanthropic institutions. These buildings must be set back from all yard lines a distance of at least one (1) foot for each foot of building height.
 - (5) Modular, panelized and precut homes, provided that they are placed on a permanent foundation.
 - (6) Reserved.
 - (7) Private commercial access roads, upon review by the Planning Commission and supporting resolution of the Council.
 - (8) Accessory Dwelling Units upon approval by the Planning Commission and supporting resolution of the Council.**
2. Spatial Requirements:
 - c. Accessory buildings:
 - (1) An accessory building may occupy no more than twenty-five (25) percent of the required rear yard.
 - (2) The accessory building shall not exceed two-story construction.
 - (3) Minimum setback of accessory buildings including overhangs, shall be three (3) feet.
 - (4) Nonresidential accessory buildings shall not be permitted

Appendix A. Section VII.

Accessory buildings.

- a. Residential accessory buildings are allowed only in the side and rear yards.
- b. An accessory building may be connected to the principal building via an unenclosed breezeway not exceeding eight (8) feet in width.
- c. Accessory buildings must be three (3) feet from the principal building, measured from any existing overhangs (not including breezeways).

- d. The following shall not be permitted as accessory buildings in residential zones: storage containers, cargo containers, ship to shore containers or any form of a modified delivery type container which is normally mounted or transferred on a vehicle or is designed for or capable of being mounted on a chassis for movement.

Accessory dwelling units.

- a. Purpose. To offer a wider range of housing options within residential zoning districts.
- b. Design and development standards for all accessory dwelling units (ADU).
- i. There shall be no more than one (1) ADU permitted per lot.
 - ii. No ADU will be permitted without a primary building.
 - iii. An ADU may consist of part or all of a detached accessory structure or it may consist of a portion of the primary structure.
 - iv. There shall not be more than one (1) bedroom in an ADU.
 - v. An ADU shall use the electrical service of the primary structure.
 - vi. The owner of the property on which the ADU is to be created shall occupy the primary dwelling unit.
 - vii. Setbacks for ADUs developed as part of the principal structure are the same as the underlying zoning district.
 - viii. Setbacks for ADUs developed as detached structures shall meet the setbacks for accessory structures for the underlying zoning district.
 - ix. The floor area of the ADU is limited to fifty (50) percent of the floor area of the primary dwelling unit, not to exceed one thousand two hundred(1,200) square feet.
- x. ADUs require one (1) off-street parking space in addition to the parking requirements of the underlying zoning district

Appendix A. Section IV.

• *Evaluation Criteria* – those uses requiring approval for either a *Special Exception* or a *Special Permit Use* shall be evaluated by the criteria below. These criteria are to be considered illustrative and not restrictive. Other criteria may be considered though not specifically listed below if said criteria affect the general health, safety, and welfare of the public.

1. Compliance with the current St. Charles Parish Comprehensive Plan.
2. Compatibility with existing uses on abutting sites in terms of site development, building design, hours of operation, and transportation features related to safety and convenience of vehicular and pedestrian circulation.
3. Adequacy and convenience of off-street parking and loading facilities and protection of adjacent property from glare of site lighting.
4. Potentially unfavorable impacts on other existing uses on abutting sites to the extent such impacts exceed those impacts expected from a permitted use in the zoning district.
5. Protection of persons and property from erosion, flood or water damage, fire, noise, glare, and similar hazards or impacts.
6. A site development plan shall be required as part of the application process. The following design criteria shall be evaluated on the plan:
 - a. Required yards and open space
 - b. Ingress and egress to property
 - c. Parking and loading areas
 - d. Location of garbage facilities
 - e. Landscaping, buffering, and screening
 - f. Signage
 - g. Height and bulk of structures
 - h. Location and direction of site lighting

SPU & ADU CRITERIA COMPLIANCE
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◆ The proposal meets the SPU criteria as follows:

1. *Compliance with the current St. Charles Parish Comprehensive Plan*

The Comprehensive Plan recommends Low Density Residential, up to eight (8) dwelling units per gross acre, or no more than one dwelling unit in 5,445 square feet for this area. The subject site consists of 17,595 square feet. Two dwelling units on the site would allow for over 8,700 square feet per family.

Ormond Oaks Subdivision was platted in the late 60s with 125 lots between 55-foot wide and 80-foot wide on a 50-foot wide right of way. The subdivision attenuates as it approaches the Canadian National Railroad. Lots closer to the river are as deep as 170 feet and lots closer to the railroad are as shallow as 90-foot deep. Many owners purchased more than one lot—many of the properties in the neighborhood are a lot and a half or more (The subject site is all of lot 3 plus portions of the adjoining lots 2 & 4—this is common in the subdivision). As a result, the neighborhood is built-out with 77 houses at an approximate density of 3.5 dwellings per gross acre. The proposed accessory dwelling unit would not put the area over the recommended density.

Complies

2. *Compatibility with existing uses on abutting sites in terms of site development, building design, hours of operation, and transportation features related to safety and convenience of vehicular and pedestrian circulation.* The ADU is proposed in a new 40-square foot detached structure with hardie board siding, comparable in size

and building material, to other detached accessories in the area. The existing driveway will provide access to the ADU, comparable to other site development.

Complies

3. *Adequacy and convenience of off-street parking and loading facilities and protection of adjacent property from glare of site lighting.* The house is currently developed with a driveway measuring approximately 75 feet long that can stack as many as four (4) vehicles, which meets the required two (2) spaces for single-family dwellings and one (1) space for ADUs. Loading and lighting is not required.

Complies

4. *Potentially unfavorable impacts on other existing uses on abutting sites to the extent such impacts exceed those impacts expected from a permitted use in the zoning district.* The proposed ADU is 640 square-feet, comparable to other accessories in size, and the site **Complies**

5. *Protection of persons and property from erosion, flood or water damage, fire, noise, glare, and similar hazards or impacts.* The ADU will be located in a new detached accessory structure. Building code approval requires fire protection. Noise impacts are not expected from this type of development but the noise ordinance will provide for the enforcement of any noise issues that may result. The structure will result in an increase in impermeable area on the property, which can increase any drainage issues. The proposed structure is similar to a typical detached residential accessory building, of which the site currently has none, and should not result in a greater impact than to drainage compared to what can typically be permitted by right on this site. **Complies**

6. *A site development plan shall be required as part of the application process. The following design criteria shall be evaluated on the plan:*

a. *Required yards and open space.* Five (5) feet provided for side setback and twenty (20) for the rear. Three (3) feet is required for accessory structures in the R-1A zoning district met. **Compliance contingent on an approved administrative subdivision**

b. *Ingress and egress to property.* Ingress and egress to both the ADU and primary dwelling will come from an existing driveway providing access to Ormond Oaks Drive. **Complies**

c. *Parking and loading areas.* Driveway space is adequate to accommodate the required two (2) spaces for single-family dwellings and one (1) space for ADUs. **Complies**

d. *Location of garbage facilities.* **N/A**

e. *Landscaping, buffering, and screening.* **N/A**

f. *Signage.* **N/A**

g. *Height and bulk of structures.* ADU shown consisting of one story. **Complies**

h. *Location and direction of site lighting.* **N/A**

◆ *Design and development standards for all accessory buildings*

a. *Residential accessory buildings are allowed only in the side and rear yards.* **Complies**

b. *An accessory building may be connected to the principal building via an unenclosed breezeway not exceeding eight (8) feet in width.* **N/A**

c. *Accessory buildings must be three (3) feet from the principal building, measured from any existing overhangs (not including breezeways).* **Complies**

d. *The following shall not be permitted as accessory buildings in residential zones: storage containers, cargo containers, ship to shore containers or any form of a modified delivery type container which is normally mounted or transferred on a vehicle or is designed for or capable of being mounted on a chassis for movement.* **Complies**

◆ *Design and development standards for all accessory dwelling units (ADU)*

i. *There shall be no more than one (1) ADU permitted per lot.* **Complies**

ii. *No ADU will be permitted without a primary building.* Site developed with a site-built single family dwelling. **Complies**

iii. *An ADU may consist of part or all of a detached accessory structure or it may consist of a portion of the primary structure.* **Detached**

- iv. *There shall not be more than one (1) bedroom in an ADU. Floor plan shows ADU consisting of a living room, kitchen, bathroom, laundry/closet, and one (1) bedroom. **Complies***
- v. *An ADU shall use the electrical service of the primary structure. **Complies***
- vi. *The owner of the property on which the ADU is to be created shall occupy the primary dwelling unit. The owner's mailing address is that of the subject site, and the applicant has stated he resides in the primary dwelling. **Complies***
- vii. *Setbacks for ADUs developed as part of the principal structure are the same as the underlying zoning district. **N/A***
- viii. *Setbacks for ADUs developed as detached structures shall meet the setbacks for accessory structures for the underlying zoning district. In the R-1A district, accessory structures must meet the following:*
 - (1) *An accessory building may occupy no more than twenty-five (25) percent of the required rear yard. **Complies***
 - (2) *The accessory building shall not exceed two-story construction. **Complies***
 - (3) *Minimum setback of accessory buildings including overhangs, shall be three feet. ADU shown 5 feet from the side property line and 20 from the rear property line. **Compliance contingent on an approved administrative subdivision***
 - (4) *Nonresidential accessory buildings shall not be permitted. **Complies***
- ix. *The floor area of the ADU is limited to fifty (50) percent of the floor area of the primary dwelling unit, not to exceed one thousand two hundred (1,200) square feet. The primary dwelling is shown consisting of 3,022 square feet. The ADU is shown consisting of 640 square feet. **Complies***
- x. *ADUs require one (1) off-street parking space in addition to the parking requirements of the underlying zoning district. Both the existing driveway and proposed extension will be capable of accommodating the required two (2) parking spaces for single-family dwellings along with the additional space for the ADU. **Complies***

ANALYSIS

The applicant is requesting a Special Permit Use for an Accessory Dwelling Unit (ADU) at 202 Ormond Oaks Drive, Destrehan. A site-built, single-family dwelling exists at the site, and the ADU is proposed as a separate detached structure.

The 640 square foot ADU consists of one (1) bedroom, and is shown outfitted with facilities which would allow a resident to live independently from the primary dwelling. The site plan shows the ADU meets the general requirements for accessory structures and specific requirements for ADUs. All criteria for the evaluation of special permits are met.

The site is currently divided into three separate lots of record. Any criteria concerning spatial requirements and setbacks can be met, but only upon the approval of administrative subdivision creating a single lot of record. If approved, building permits will not be issued for the ADU until the lot consolidation occurs. An approved special permit is good for one year, after which the approval expires if no construction has commenced.

DEPARTMENT RECOMMENDATION

Approval, contingent on

- **The approval of an administrative resubdivision, combining the three existing lots into one lot of record.**

**INTRODUCED BY: LARRY COCHRAN, PARISH PRESIDENT
(DEPT. OF PLANNING & ZONING)**

ORDINANCE NO. _____

A resolution providing mandatory support for the Planning and Zoning Commission's approval for an accessory dwelling unit in an R-1A zoning district on North 1/2 Lot 2, Lot 3, and South 3/4 of Lot 4, Ormond Oaks Subdivision, municipal address 202 Ormond Oaks Drive, Destrehan as requested by Jeffrey Vitrano.

WHEREAS, Jeffrey Vitrano requests a special permit use to permit an accessory dwelling unit in an R-1A zoning district; and,

WHEREAS, the St Charles Parish Department of Planning and Zoning recommended approval of the special permit use; and,

WHEREAS, The St. Charles Parish Planning & Zoning Commission [approved/denied] the special permit at its regular meeting on May 2, 2019.

NOW, THEREFORE, BE IT RESOLVED THAT THE ST. CHARLES PARISH COUNCIL hereby provides this resolution in support of the Planning and Zoning Commission's approval of a Special Permit Use for an accessory dwelling unit in an R-1A zoning district on North 1/2 Lot 2, Lot 3, and South 3/4 of Lot 4, Ormond Oaks Subdivision, municipal address 202 Ormond Oaks Drive, Destrehan as requested by Jeffrey Vitrano.

The foregoing resolution having been submitted to a vote, the vote thereon was as follows:

And the resolution was declared adopted this ____ day of _____, 2019, to become effective five (5) days after publication in the Official Journal.

CHAIRMAN: _____

SECRETARY: _____

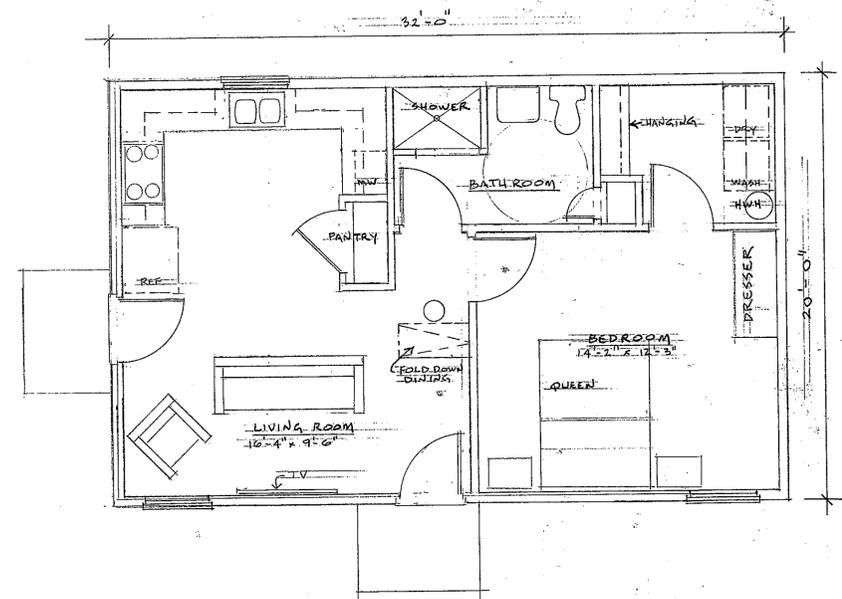
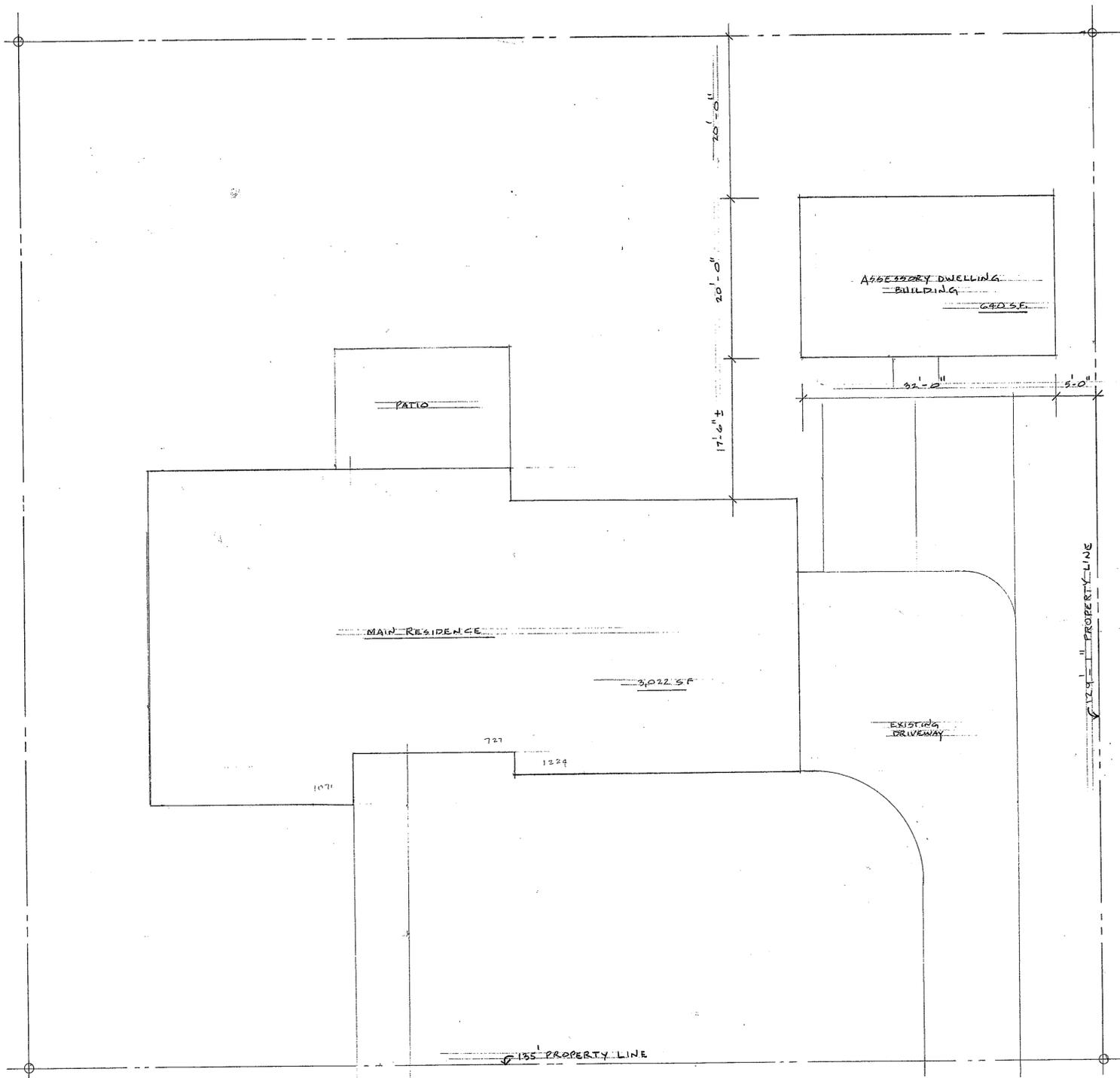
DLVD/PARISH PRESIDENT: _____

APPROVED: _____ DISAPPROVED _____

PARISH PRESIDENT: _____

RETD/SECRETARY: _____

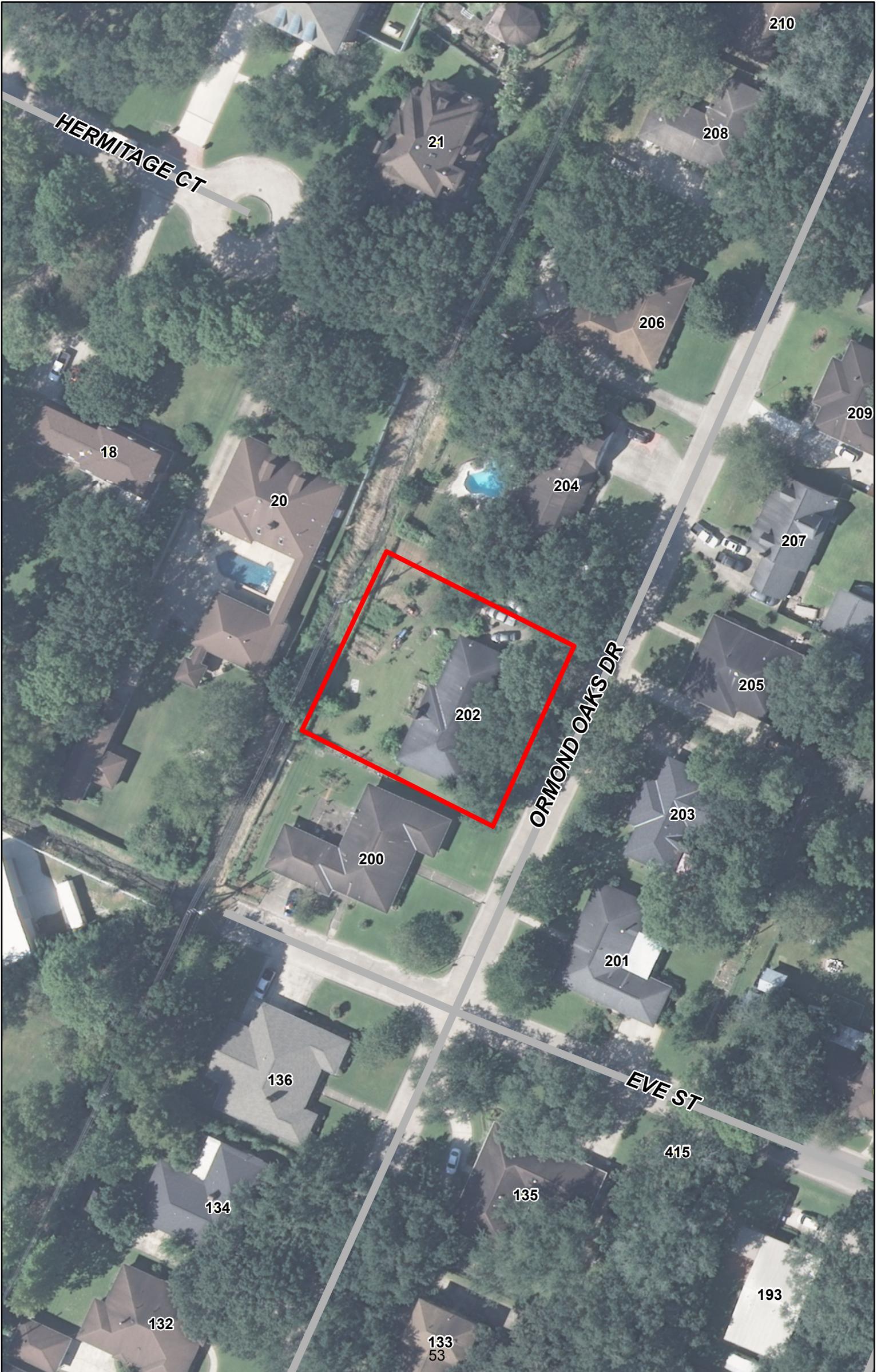
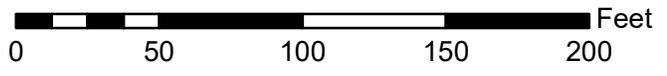
AT: _____ RECD BY: _____

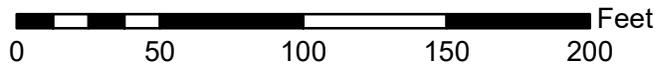


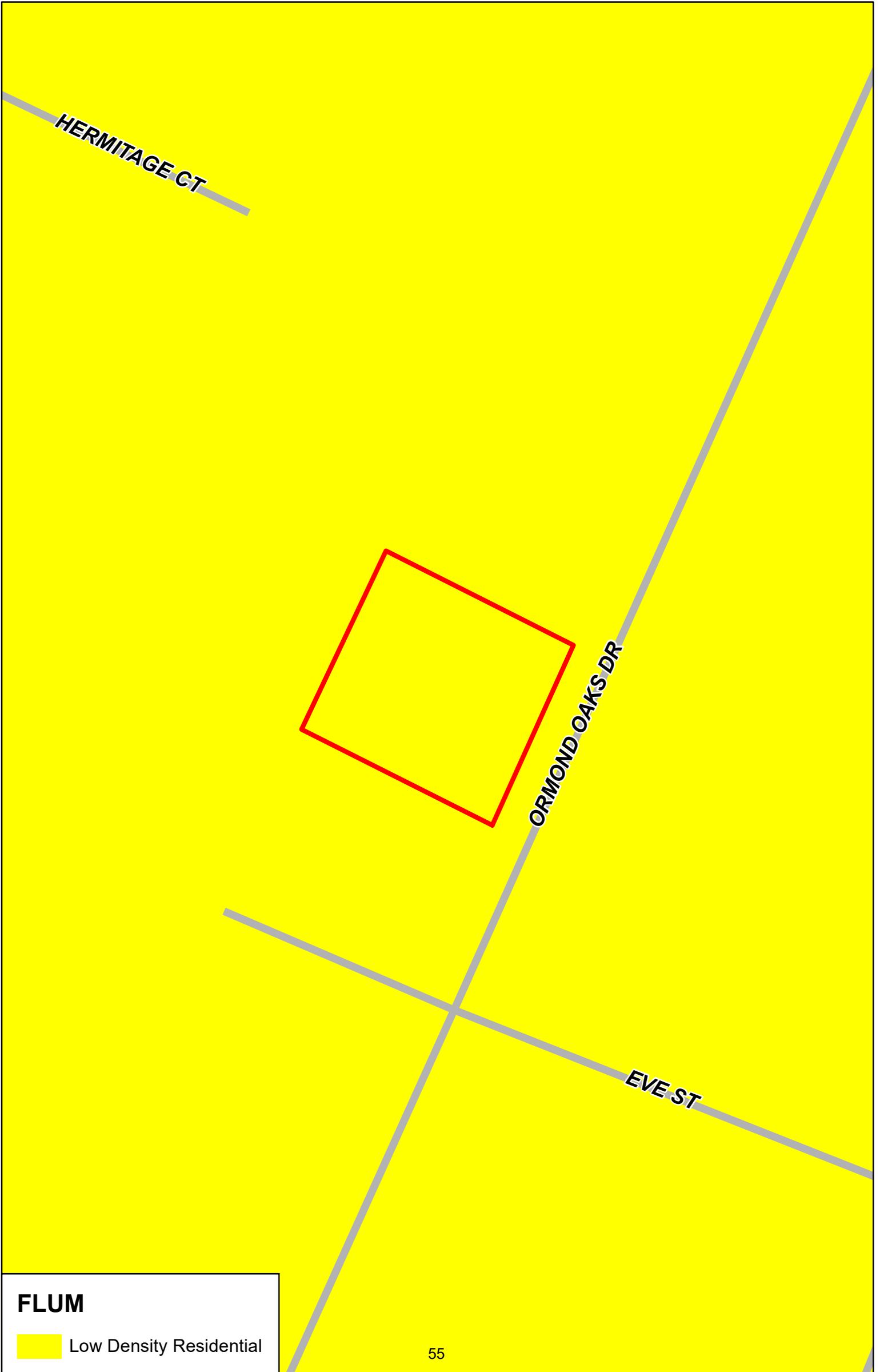
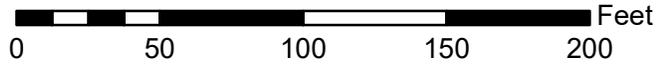
TOMMY & DELORES VITRANO
 202 ORMOND OAKS DRIVE
 DESTREHAN, LA 70024

FLOOR PLAN

SCALE 1/4" = 1'-0"







FLUM

 Low Density Residential